

Application Ref: NP/21/0130/FUL

Case Officer	Kate Attrill		
Applicant	Mrs & Mr Caroline & Andrew Cooksley		
Agent	Ms V Coombs, Loyn & Co Architects		
Proposal	Demolition of existing property & garage & replacement with new dwelling & garage including drainage & landscaping works. Permission for existing outbuilding		
Site Location	Rhigian, Dinas Cross, Newport, Pembrokeshire, SA42 0SS		
Grid Ref	SN03553907		
Date Valid	25-Feb-2021	Target Date	09-Jun-2021

The application is before the Development Management Committee as the officer recommendation of approval is contrary to the view of Newport Town Council and at the request of the Chair via the extended delegation scheme.

Consultee Response

Newport Town Council: Recommend Refusal - This council repeats the comments set out in the email to PCNPA dated 24/07/20 relating to application NP/20/0325/FUL. Those comments apply equally to the present application.

Newport Town Council have made the following general points:
Aberhigian is a beautiful unspoilt bay. The proposal causes significant visual intrusion. The proposal does not respect the sense of remoteness and tranquillity. The choice of materials is not sympathetic.

The following issues cause particular concern:

- 1) The increased height of the proposed dwelling
- 2) The appearance of the north elevation and, in particular, the extent of glazing on this elevation
- 3) The appearance of the proposed dwelling viewed from the coast path, particularly from the path south of Aberhigian
- 4) Significant Light pollution, particularly from the north elevation
- 5) The mass of the roof
- 6) The size of the proposed dwelling
- 7) The choice of materials

Dyfed Archaeological Trust: Observations

Dwr Cymru Welsh Water: No objection

Natural Resources Wales: Standard Advice

PCC - Drainage Engineers: No Objection

PCC - Transportation & Environment: No objection

PCNPA Tree and Landscape Officer: Conditional Consent

PCNPA Buildings Conservation Officer: No objection

PCNPA Access Manager: Conditional Consent

Trunk Road Agency: No objection response for the like for like development.

Public Response

The Town and Country Planning (Development Management Procedure)(Wales) Order 2012 requires that proposed developments are advertised by way of either neighbour letters or a site notice. In this case, both site notice and neighbour letters were sent.

No objections have been received to the current proposal, notwithstanding the comments from Newport Town Council.

Policies considered

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website -

<http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

LDP2 Policy 01 - National Park Purposes and Duty

LDP2 Policy 07 - Countryside

LDP2 Policy 08 - Special Qualities

LDP2 Policy 09 - Light Pollution

LDP2 Policy 10 - Sites and Species of European Importance

LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park

LDP2 Policy 29 - Sustainable Design

LDP2 Policy 30 - Amenity

LDP2 Policy 32 - Surface Water Drainage

LDP2 Policy 59 - Sustainable Transport

LDP2 Policy 60 - Impacts of Traffic

PPW11

SPG05 - Sustainable Design

SPG06 - Landscape

TAN 05 - Nature Conservation and Planning

TAN 12 - Design

TAN 23 - Economic Development

TAN 24 - The Historic Environment

Constraints

LDP Mineral Safeguard

Biodiversity Issue

Historic Landscape

Rights of Way Inland - within 50m

Ancient Monument - within 500m

ROW Coast Path - within 10m

Potential for surface water flooding

Recreation Character Areas

Affordable Housing Submarkets

Seascape Character Areas
Landscape Character Area

Officer's Appraisal

Site and Context

The site lies approximately 1.5 miles to the west of Newport, accessed from the A487 along an unmade track which is also a public footpath.

The existing dwelling is a stone and rendered cottage under a slate roof which has been significantly extended in the past, with forward, rear and side extensions.

Relevant Planning History

PA/19/0116 Pre-application query regarding principle of previous proposals – Supported

NP/20/0325/FUL Alterations and extension to existing property including drainage and landscaping works. Demolition of existing garage and erection of replacement garage
Approved at Development Management Committee 21/10/2020

Description of Proposal

The new submission refers to demolition and reconstruction of the existing stone walls that were originally proposed to be retained under the previously approved application. All other design details remain the same.

The current application proposes to demolish the existing dwelling and extend to two storey where the footprint is currently single storey, to echo and extend the roof shape into a twin gable with a glazed and raise the roof over the site of the original stone face of the cottage.

One gable features a glazed end on the northern elevation which faces towards the sea, whilst the other is timbered. The design retains some traditional elements and incorporates a strong element of contemporary architecture. The ground floor area is slightly reduced as a result of the removal of the front conservatory from the existing footprint, while the first floor goes from providing two bedrooms at present to 6 proposed.

The materials for the dwelling as extended are proposed to be a metal standing seam zinc roof, timber cladding, natural stone and aluminium glazing.

A replacement single storey timber garage with standing seam metal roof, open car port/boat store and bat mitigation building is also proposed on the same site as an existing car port to the north east of the dwelling at the gateway from the track. No alterations are proposed to the existing access to the main road.

Key Issues

The application raises the following planning matters:

- Policy and Principle of Development
- Siting, Design and Impact upon the Special Qualities of the National Park
- Amenity and Privacy
- Access and Parking
- Landscaping
- Biodiversity
- Drainage
- Other Material Considerations

Policy:

The site lies in the open countryside, and as such the primary strategic policy is Policy 7 which does not prevent residential extensions and alterations or replacement, but refers in the subtext at 4.45 that this provided that buildings needing 'to be of a form, bulk and general design which are in keeping with their surroundings'.

Planning Policy Wales at 3.3. states that: 'good design is fundamental to creating sustainable places where people want to live, work and socialise. Design is not just about the architecture of a building but the relationship between all elements of the natural and built environment and between people and places. To achieve sustainable development, design must go beyond aesthetics and include the social, economic, environmental, cultural aspects of the development, including how space is used, how buildings and the public realm support this use, as well as its construction, operation, management, and its relationship with the surrounding area.'

The principle of replacing this property on a like-for like- basis as was previously approved in the form of extension and alterations is considered acceptable.

Siting, Design and Impact upon the Special Qualities of the National Park

Policy 8 of the Pembrokeshire Coast National Park Local Development Plan 2 (LDP2) is a strategy policy which refers to the special qualities of the National Park and lists priorities to ensure that these qualities will be protected and enhanced.

Policy 14 of the LDP2 seeks the conservation of the Pembrokeshire Coast National Park with criteria (a) and (b) resisting development that would cause significant visual intrusion and/or, that would be insensitively and unsympathetically sited within the landscape. Criteria 'c' and 'd' resists development that would fail to harmonise with or enhance the landform and landscape character of the National Park and/or fails to incorporate important traditional features.

Policy 29 of LDP1 requires all development proposals to be well designed in terms of place and local distinctiveness (criterion (a)).

The proposed design is striking and is a very contemporary take on a traditional building, whilst respecting local character and materials. Part of the submitted

application considered long and short distance views into and out of the site, and as such demonstrated that there will not be a significant impact on the character of the landscape as a result of the proposed scheme.

Whilst Newport Town Council have expressed a number of concerns over the design of the proposed dwelling, having viewed the site from both the coastal path and within the site itself, the case officer does not agree that the proposals will cause either significant visual detriment due to the height (which will be seen against a backdrop of landscape rather than on a skyline), nor light pollution as there is no proposed external lighting.

Whilst one first floor gable end is fully glazed, this is recessed behind a balcony, and an overhanging roof at a depth of 2.1 metres and although this may be visible at night, given the distance between the coastal path and the likelihood of the coastal path being used at dusk, this is not considered to be of significant detriment. It is understood that there is a sensitivity to light pollution within Newport as a result of previous permissions in Newport in much more visible locations, but this is not considered to be a significant issue in this landscape context.

The materials, stone, timber cladding and zinc sheet metal sheeting are considered to be sympathetic both to the existing dwelling and the character of the area. Given the scale of the proposed development, a condition relating to materials being approved has been suggested along with another condition to remove permitted development rights. There is an existing summerhouse which provides additional sleeping accommodation for the house, so proposing a removal of permitted development rights to extensions and outbuildings would be reasonable in this case.

The applicants covering letter states that: 'since the previous consent was received for the project in October 2020, we have been working closely with a local contractor (Carreg Construction) and engineer (Barratt Associates) in the preparation of production information for the site works. Although we have looked at several options for the structural, thermal and damp proofing strategy in relation to the existing walls, all of these solutions are in some way compromised by retaining the existing construction. The new application outlines the concerns that have arisen from further site investigations in regard to the need to re-build the existing walls. Having carried out these investigations, our conclusion as a team is that we should take down and rebuild the existing walls - ensuring that visually the external appearance of the building is the same as it is now but with increased structural integrity'.

It goes on to explain the Conservation principles of re-building which will be utilised: 'Our method with regards to rebuilding will be to rebuild the walls in a traditional solid stone and lime work construction taking a very thorough conservation-led approach. This would involve measuring and clocking each stone to ensure that the wall is rebuilt to match the existing.

Whilst we did discuss rebuilding in a more modern method form of construction, we reached the conclusion that this would never really allow us to reuse the existing stones effectively, given their size. Therefore, whilst rebuilding will allow us to construct the necessary foundations and ensure a continuity of damp proofing which

we are not able to do with the existing walls, we would not be altering the external appearance at all'.

The Built Conservation Officer has no objection to the proposals, stating: 'the existing property appears to have been heavily altered and extended and I see no objection to the principle of replacement. The development will have no effect on the setting of listed buildings in the area, which lie a considerable distance away'.

As such the proposed development is considered to comply with Policies 8, 14 and 29 of LDP2.

Amenity and Privacy:

Policy 30 of the LDP2 refers to 'amenity' in general with criteria (a) and (b) seeking to avoid incompatible development and significant adverse impact upon the amenity enjoyed by neighbouring properties.

There is an adjacent farmhouse some 35 metres to the south west of the proposed development, but this is partially screened by existing farm buildings and trees. No objections to the proposals have been received from neighbouring properties, but having considered the potential impacts, the proposed development is not likely to result in overlooking or privacy due to the intervening landform, agricultural buildings and vegetation.

As such the proposed development is considered to comply with Policy 30 of the LDP.

Access and Parking:

The Trunk Road Agency have been consulted in respect to any potential impact on traffic or highway safety and they have responded to say they have no objection to the proposals.

The proposed development is therefore considered to comply with Policies 59 & 60 of the LDP.

Landscaping:

To comply with Planning Policy Wales (2018), section 6, Technical Advice Note (TAN) 5 and Technical Advice Note (TAN) 10, Planning Authorities should protect trees, hedgerows, groups of trees and areas of woodland where they have ecological value, contribute to the character or amenity of a particular locality, or perform a beneficial and identified green infrastructure function.

Trees, hedges and hedgebanks are considered in regard to the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value.

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The Authority's Tree and Landscape Officer has been consulted with regards to the submitted Arboricultural Method Statement and Tree Protection Plan, and a condition to ensure works are carried out in accordance with the proposals has been requested.

Biodiversity:

Both the PCNPA Ecologist and NRW were consulted with these and the previous proposals.

The PCNPA Ecologist made the following comments on the previous proposals: The application site is 3.46km from Felin Llwyngwair SSSI which is part of the Pembrokeshire Bat Sites and Bosherton Lakes Special Area of Conservation (SAC) and roughly 580m from the West Wales Marine SAC. As a competent authority under the Habitats Regulations we have to consider the impacts of development on the features for which the European site is designated and where necessary undertake a Test of Likely Significant Effect (TLSE).

However, it is considered that this development proposal will not likely impact on the SAC features. Although close to West Wales Marine SAC, the proposal is relatively small scale and highly unlikely to result in any impacts upon the adjacent watercourse. The proposal also involves improvements to the existing foul water treatment system.

Although a horseshoe bat was recorded on site (a designating species of the Pembrokeshire Bat Sites SAC), the activity survey showed no evidence of day roosting and it was concluded that the storage shelter on site is being used as a night perch by a very low number of horseshoe bats. This roosting opportunity will be mitigated for in the garage/shelter. It is therefore considered not likely that the development will cause any adverse effects including sediment transfer and deposition, turbidity, noise, visual presence, physical disturbance and nutrient transfer. There will be no reduction in the area of the habitat within the SAC and there will be no direct or indirect change to the physical quality of the environment (including the hydrology) of the habitats within the site. There will be no loss of flight lines or foraging or commuting areas and the loss of the night perch for the single horseshoe bat will be mitigated for. There is unlikely to be any ongoing disturbance to species or habitats for which the site is notified or changes in species composition or population size of any feature and there are no pathway to effects.

Therefore, on this occasion a full TLSE has not been undertaken.

NRW have also been consulted and have offered no objection subject to advice on foul drainage and requesting informatives regarding protected species are placed on the decision notice.

Drainage:

SAB consent has been applied for and granted by Pembrokeshire County Council for this scheme.

Other Material Conditions:

Dyfed Archaeology were consulted with the proposals and have made the following comments:

'We have checked this proposal against the Regional Historic Environment Record, which currently stands at over 60,000 sites of archaeological and historical interest. These records have been formally adopted by resolution of your Authority for the purposes of the Town & Country Planning (General Permitted Development) Order 1995.

This search has revealed that the building in question is recorded on the First Edition Ordnance Survey Map for Pembrokeshire. We do not believe at this time, that the proposed development will have a significant impact upon any buried archaeological resource, however, if during development, material of archaeological interest comes to light, we can subsequently arrange to visit the site and further advise.

We do however recommend that, should consent be given, a photographic record be made prior to any work. This recommendation is based on the information provided and would most appropriately take the form of a condition attached to the application, ensuring that the necessary photography is undertaken. This is in line with Planning Policy Wales and Technical Advice Note 24 – The Historic Environment'.

A condition requiring a photographic record to be made and submitted has been copied below.

Conclusion

Notwithstanding the objection received from the Town Council, the proposed extensions and alterations are considered to comply with all relevant local and national policies and the application is therefore recommended for approval subject to appropriate conditions.

Recommendation

APPROVE, subject to the following conditions:

1. The development shall begin not later than five years from the date of this decision.
Reason: Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
2. The development shall be carried out in accordance with the following approved plans and documents:
'Developed Landscape Design (Stage 3), Rhigian, Newport, Pembrokeshire (RHI_003 Rev A), dated July 2020, by SEED_landscape design ltd,
Proposed Garage Roof Plan (1839/S114), dated August 2020, by LOYN + CO Architects,
Proposed Garage South Elevation (1939/S205), dated August 2020, by LOYN + CO Architects,
Proposed Garage West Elevation (1839/S206), dated August 2020, by LOYN

Item 5 - Report on Planning Applications

+ CO Architects and

Plan entitled: 'Open access store area emulates current garage store features for horseshoe bats; with free flight access into a roof void area.'

Ecological Impact Assessment Report, Rhigian, Newport, Pembrokeshire (Ref: WWE19174 ECIA REV B), dated 30/06/2020 by Wildwood Ecology Ltd, Existing Drawings (1839 Rhigian), dated May 2020, by LOYN + CO

Architects,

North Facing Elevation (1938/S204)', dated May 2020, by LOYN + CO

Architects,

Proposed First Floor Plan (1839/S102), dated May 2020, by LOYN + CO

Architects,

Proposed Ground Floor Plan (1839/S101), dated May 2020, by LOYN + CO

Architects,

Proposed Roof Plan (1839/S103), dated May 2020, by LOYN + CO

Architects,

South Facing Elevation (1839/S202), dated May 2020, by LOYN + CO

Architects,

West Facing Elevation (1839/S203), dated May 2020, by LOYN + CO

Architects,

Arboricultural impact assessment and method statement for Rhigian, Newport, Pembrokeshire SA42 0SS (Ref: PC19-205)', dated 15/03/2021, by Tree Consultants Wales

Layout Hard Landscape Plan RHI_100 dated 28/01/2021

Layout Structure Planting Plan RHI_200 dated 28/02/2021

Layout Levels and Drainage Plan RHI_1010 dated 28/01/2021

Layout Maintenance Management Plan RHI_201 dated 28/01/2021

Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

3. No development, demolition or site clearance shall take place until there has been submitted to and approved in writing by the local planning authority a scheme relating to the immediate landscape. The approved scheme shall include the following details:

Arboricultural Method Statement

Landscaping details

Arboricultural observation and adherence confirmation

Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 11 (Protection of Biodiversity), 14 (Conservation of the Pembrokeshire Coast National Park), 30 (Amenity), Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997).

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4. Prior to the construction of the dwellings hereby approved details of the external finishes and colours shall be submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure a proper standard of development and appearance in the interests of conserving the amenities and special qualities of the area. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

5. Notwithstanding the provisions of Article 3 of The Town and Country Planning (General Permitted Development) Order 1995, (relating to extensions to, and changes to the external appearance of the dwelling, ancillary out-buildings, minor operations and to development for the siting of a caravan within the curtilage of the dwelling house), no development of Parts 1, 2 and 5 of Schedule 2 to that Order (or any Order revoking or re-enacting that Order) shall be carried out without specific planning permission being obtained.

Reason: To preserve the character of the area. Policy: Local Development Plan 2 - Policies 1(National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).

6. Before development commences details of any external and internal illumination (to glazed areas), including measures to control light spillage, shall be submitted to the National Park Authority for approval, in writing. Development shall be carried out and maintained in accordance with the approved details.

Reason: To ensure that animal and plant species which within the terms of the Conservation (Habitats 2c) Regulations 1994 are effectively protected and the Local Development Plan – Policy 11 - Protection of Biodiversity.

7. No development shall commence until details of existing ground levels and proposed finished ground and floor levels have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

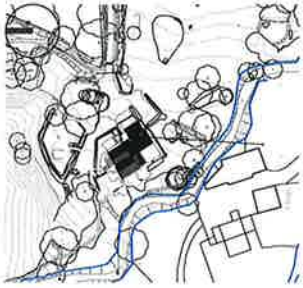
Reason: In order to be clear on the levels of the development approved to provide for a proper standard of development and appearance in the interests of conserving the amenities and special qualities of the area. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park), 29 (Sustainable Design) and 30 (Amenity).

8. Upon completion of the development, the LPA will be provided with clear and obvious proof that the details of the AMS have been adhered to, including the project Arboriculturist supervision schedule. Proof will be demonstrated through the submission of either a series of brief reports or a single larger report, which summarise the details of each project arboriculturist visit, including where relevant photographic evidence of adherence to the AMS and TPP.

Reason: In the interests of maintaining a suitable scheme of landscaping to

Item 5 - Report on Planning Applications

protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park), 30 (Amenity), Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997).



1839/E100

RHIGIAN, NEWPORT
PEMBROKESHIRE

EXISTING

SITE CONTEXT PLAN

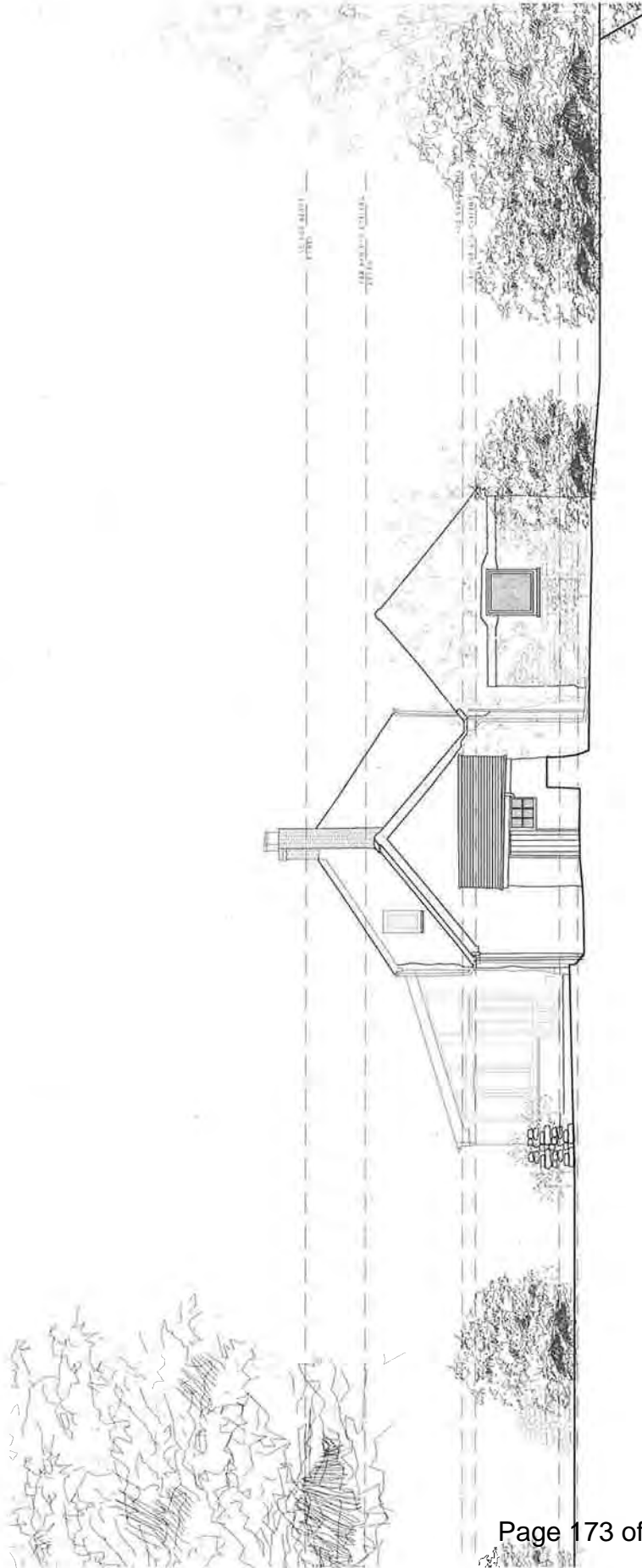
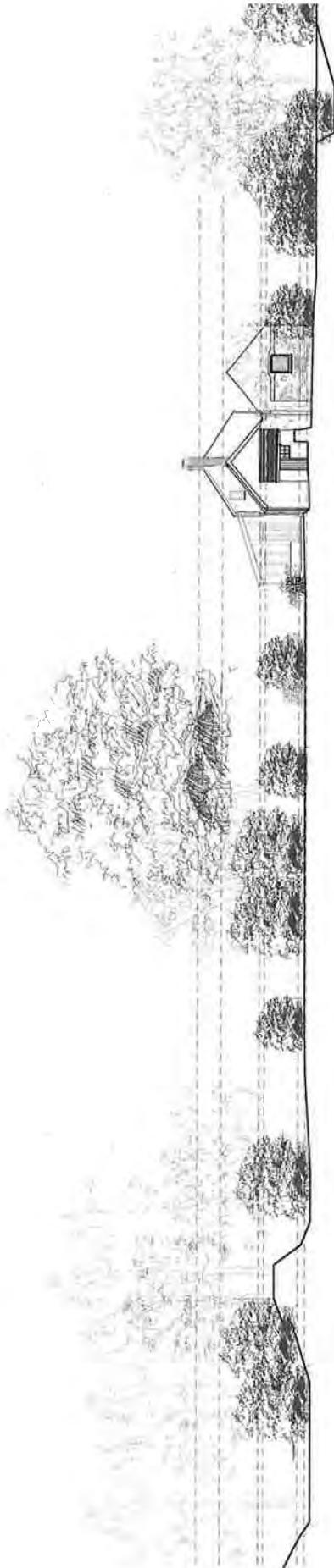
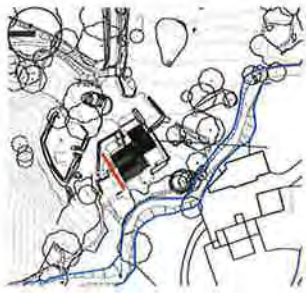
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MAR 19

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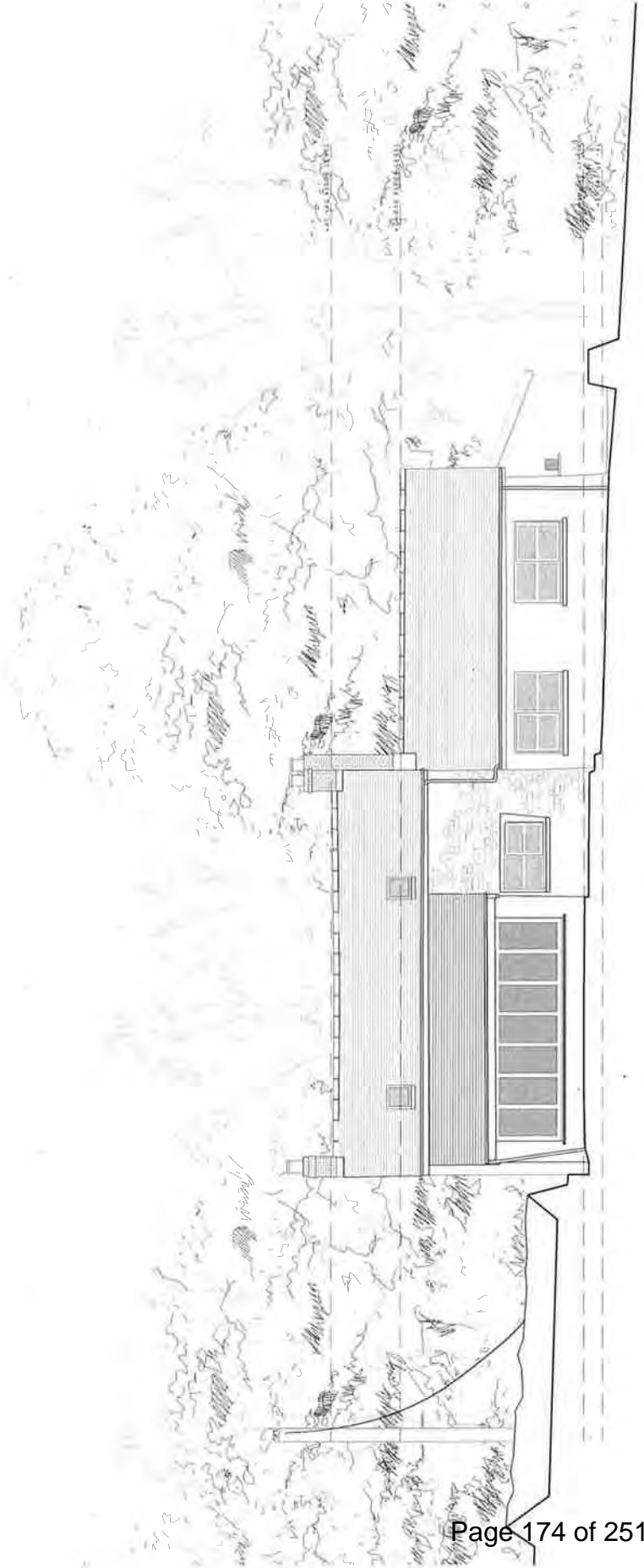
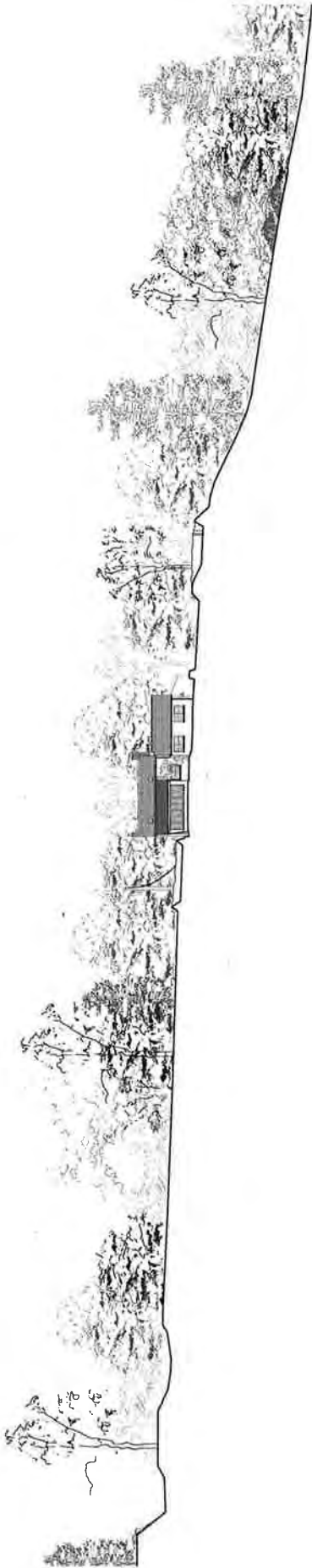
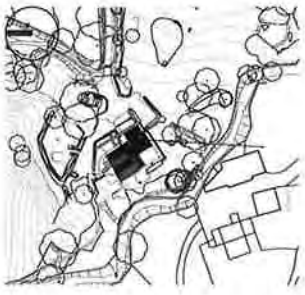
NORTH ELEVATION

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19

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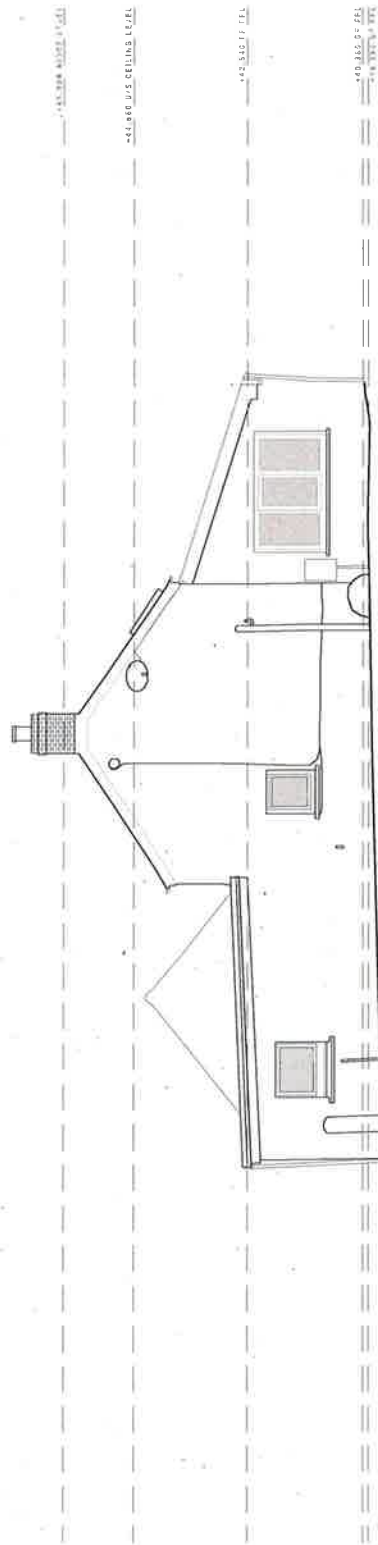
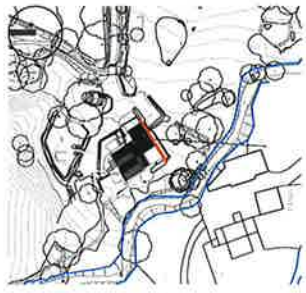
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EAST ELEVATION

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SOUTH ELEVATION

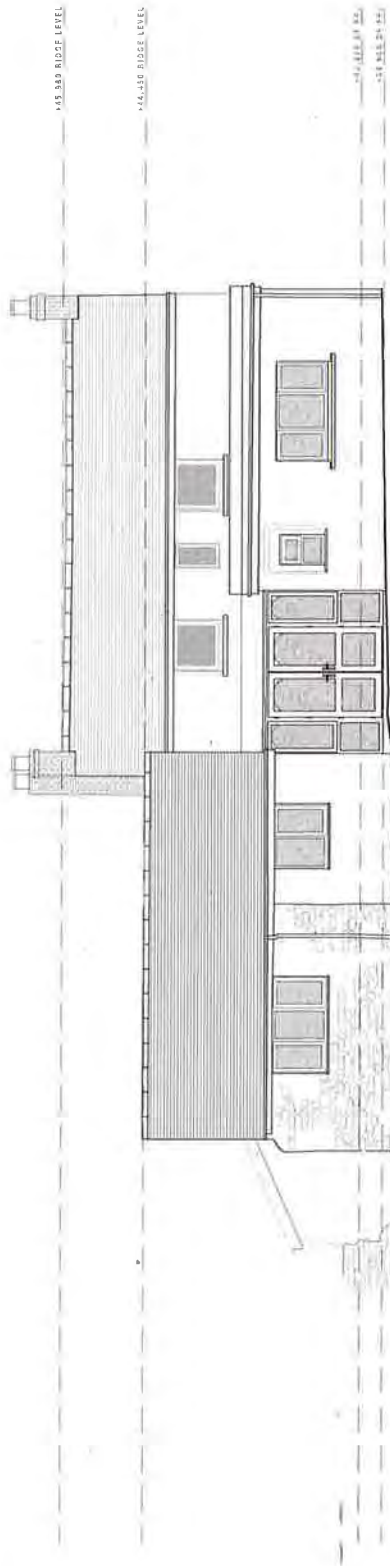
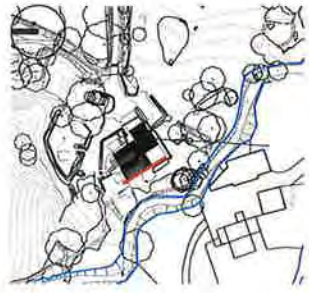
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WEST ELEVATION

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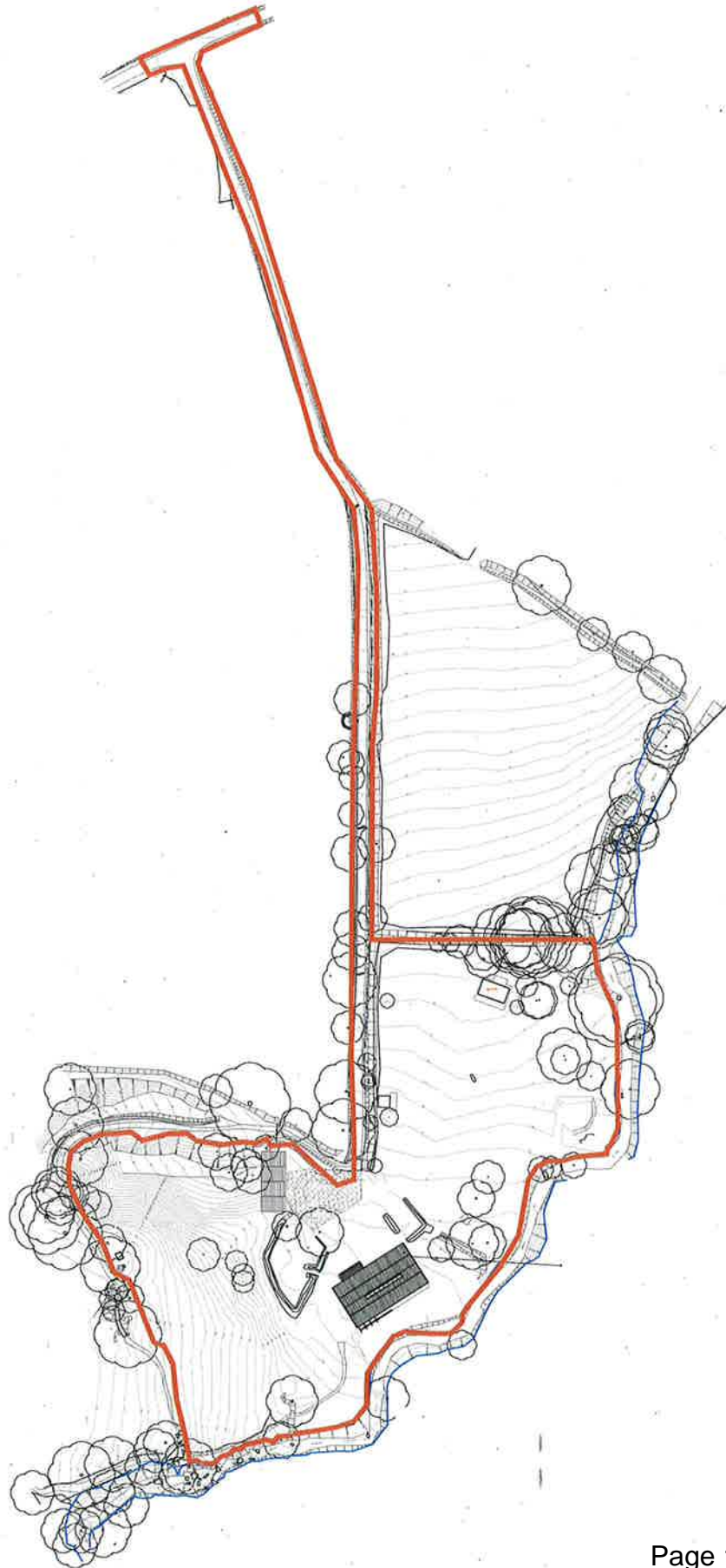


PROPOSED DRAWINGS

1839 RHIGIAN | FEBRUARY 2021

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EXISTING SUMMERHOUSE AT TOP OF GARDEN
THAT THIS APPLICATION ALSO SEEKS
RETROSPECTIVE PERMISSION FOR

Plans to be read in conjunction with Landscape
Architect's Information For Landscaping Scheme
refer to Landscape Architect's 'Developed
Landscape Design' document

PLANNING

1839/L100

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PROPOSED SITE

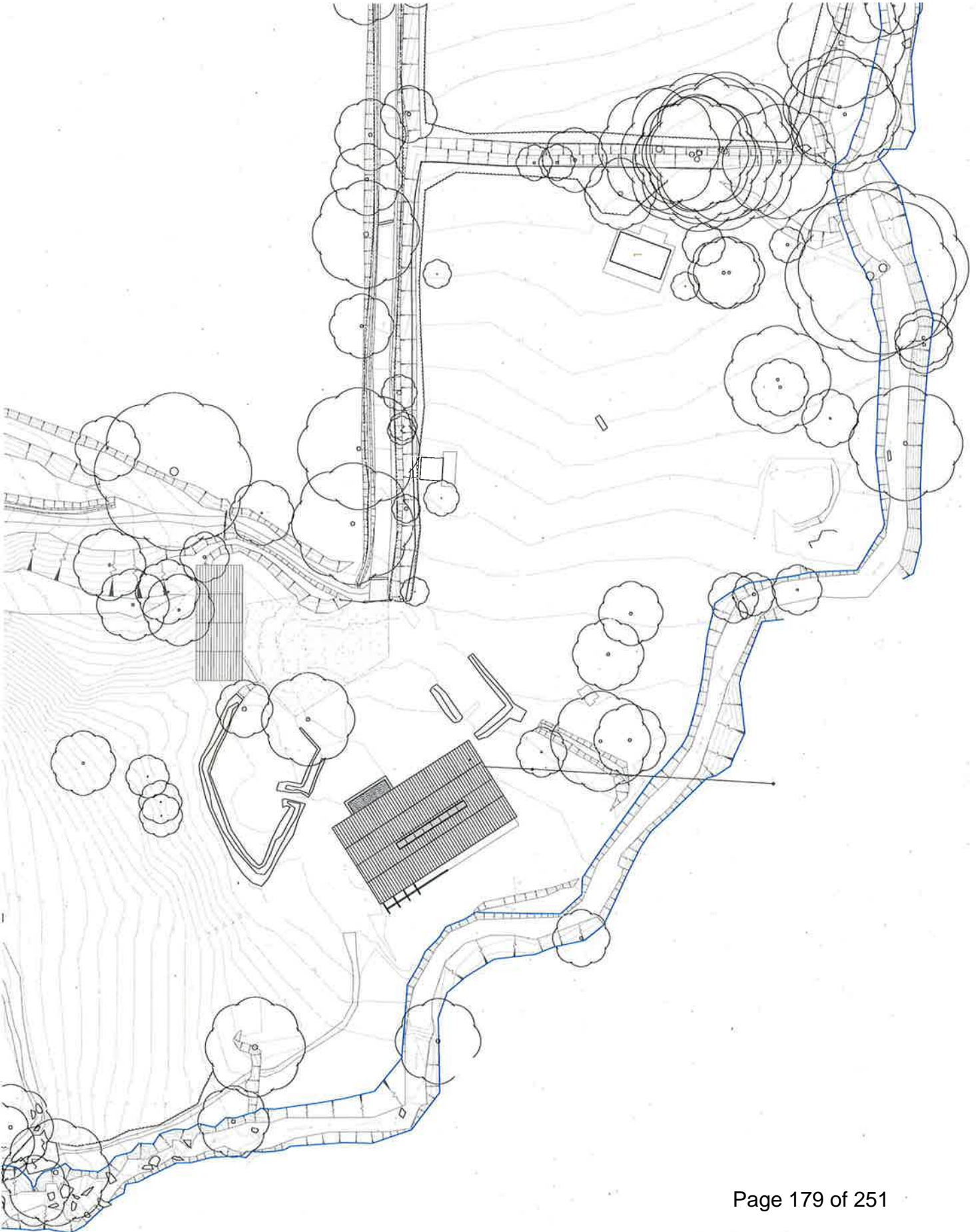
LOCATION PLAN

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MAY 20

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EXISTING SUMMERHOUSE AT TOP OF GARDEN
THAT THIS APPLICATION ALSO SEEKS
RETROSPECTIVE PERMISSION FOR

Plans to be read in conjunction with Landscape
Architectural and Planning Scheme
refer to: Landscape Architects' Development
Landscape Design document

PLANNING

1839/S100

RHIGIAN, NEWPORT
PEMBROKESHIRE

PROPOSED SITE PLAN

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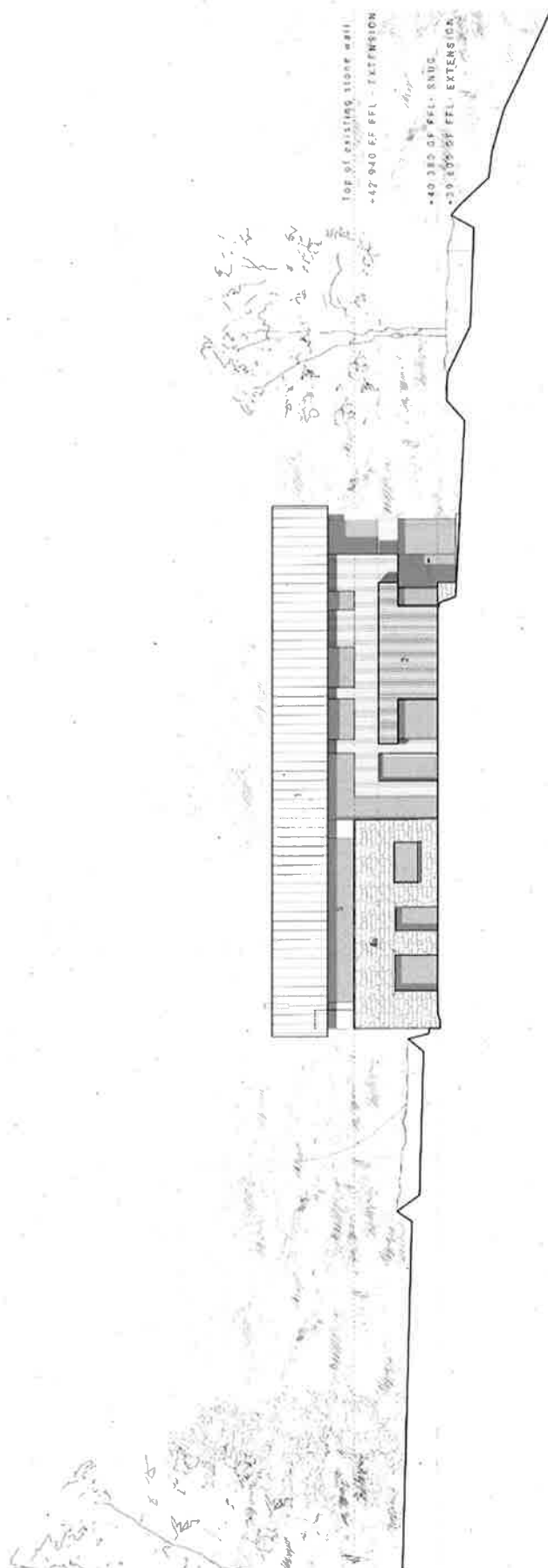
MAY 20

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5. **Substrate:** slim metal uprights with top bar

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MATERIAL KEY

1 Metal Roof - Dark grey Zinc standing seam

2 Timber Cladding

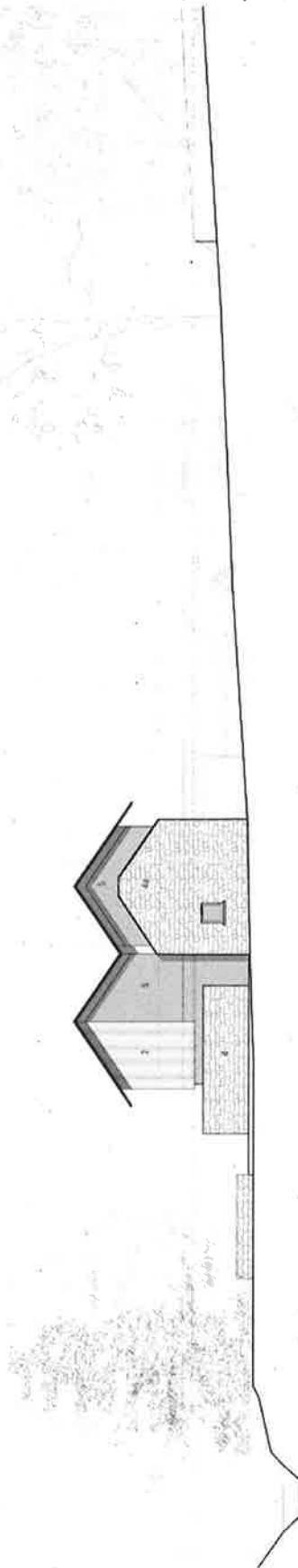
3 Hit and miss timber cladding to West Elevation

4 Natural Stone - stone cladding

4a Natural Stone - re-using existing

5 Stainless aluminium glazing - dark frame

6 Balustrade - slim metal uprights with top bar



PLANNING

1839/S202

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PEMBROKESHIRE

SOUTH FACING
ELEVATION

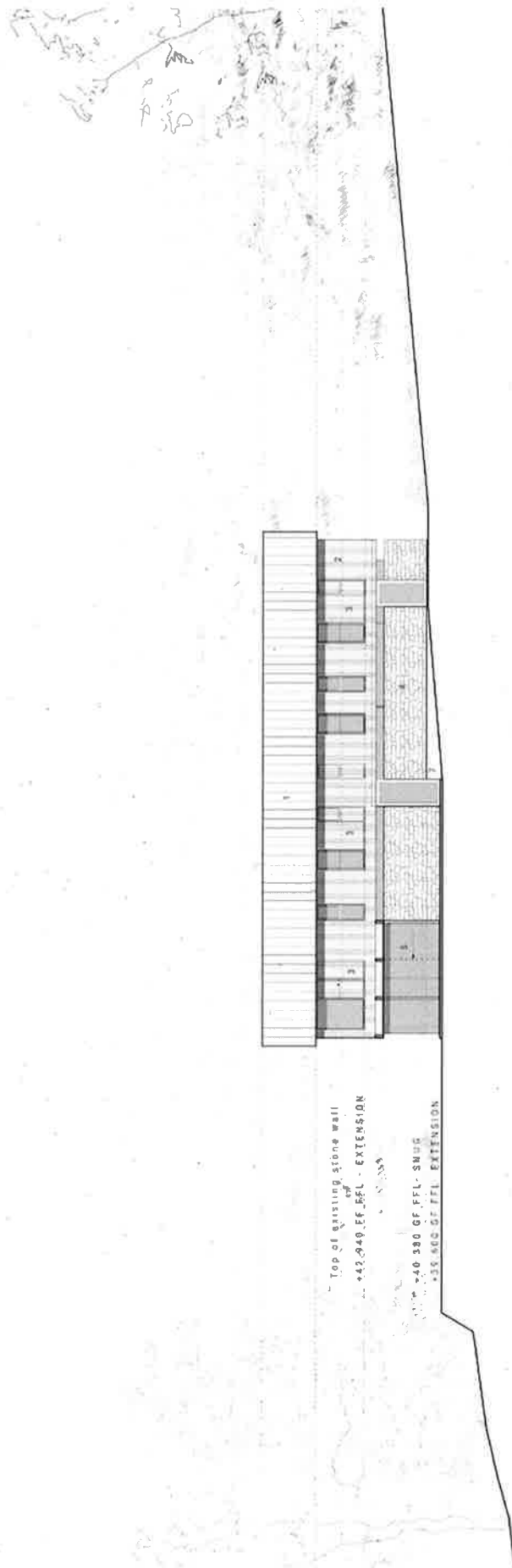
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MATERIAL KEY

- 1 Metal Roof - Dark Grey Zinc standing seam
- 2 Timber Cladding
- 3 Fir and moss timber cladding to West Elevation
- 4 Natural Stone - stone cladding
- 5 Stainless aluminium glazing - dark frame
- 6 Balustrade - slim metal uprights with top bar
- 7 Concrete plinth



Top of existing stone wall
 +42.049 FFL - EXTENSION
 +40.380 GF FFL - SHUG
 +39.602 GF FFL - EXTENSION

PLANNING

1839/S203

RHIGIAN, NEWPORT
 PEMBROKESHIRE

WEST FACING
 ELEVATION

1:200@A3 MAY 20

LOYN+CO
 ARCHITECTS

03920 711432 | architecture@loyn.co.uk
 88 Glebe Street Penarth CF64 1EF | loyn.co.uk
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MATERIAL KEY

- 1 Metal Roof - Dark grey Zinc standing seam
- 2 Timber Cladding
- 3 Hit and miss timber cladding to West Elevation
- 4 Natural Stone - stone cladding
- 5 Shiplap aluminium glazing - dark frame
- 6 Bitumast - 40m rectal uprights with 100mm



PLANNING

1839/S204

RHIGIAN, NEWPORT
PEMBROKESHIRE

NORTH FACING
ELEVATION

1:200@A3 MAY 20

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Plans to be read in conjunction with Landscape Architect's information. For Landscaping Scheme refer to Landscape Architect's Developed Landscape Design document

PLANNING

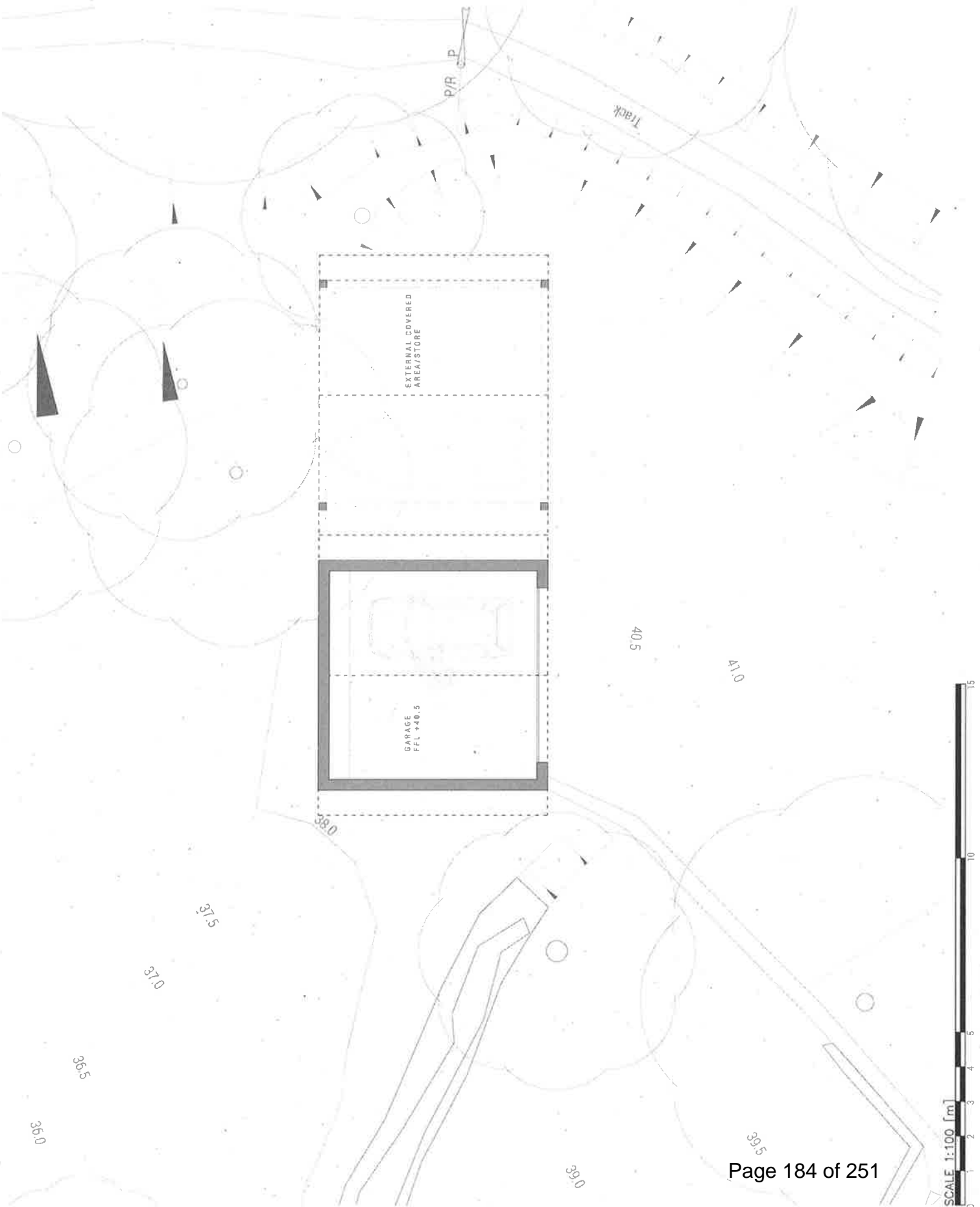
1839/S115

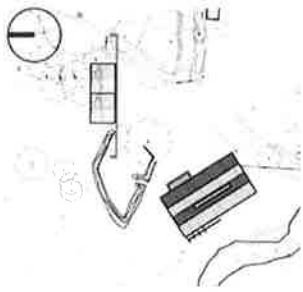
RHIGIAN, NEWPORT
PEMBROKESHIRE

PROPOSED GARAGE
GROUND FLOOR PLAN
1:100@A3 AUG 20

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MATERIAL KEY

- 1. Light Grey / Dark Grey / Dark Grey / Dark Grey
- 2. Light Grey / Dark Grey / Dark Grey / Dark Grey
- 3. Light Grey / Dark Grey / Dark Grey / Dark Grey
- 4. Light Grey / Dark Grey / Dark Grey / Dark Grey

Plans to be read in conjunction with Landscape Architect's information. For Landscaping Scheme refer to Landscape Architects' Developed Landscape Design document

PLANNING

1839/S205

**RHIGIAN, NEWPORT
PEMBROKESHIRE**

**PROPOSED GARAGE
SOUTH ELEVATION**

1:100@A3 AUG 20

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ARCHITECTS**

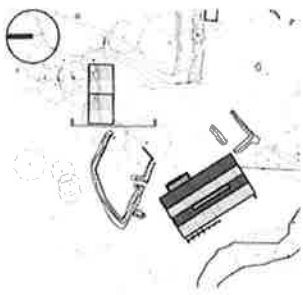
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+45 485 RIDGE LEVEL

+42 725 EAVES LEVEL

S.F.F.L.





MATERIAL KEY:

- 1 Metal Roof - Dark grey zinc standing seam
- 2 Timber Cladding - Dark stained linear cladding
- 3 Natural Stone - Stone/gabion walls to match existing

NOTES:

Reinforcing wall feature to suit the requirements of the site stone wall shown occasionally at this stage

+45.485 RIDGE LEVEL

+42.125 EAVES LEVEL

RETAINING STONE WALL

+38.9 TFL



Plans to be read in conjunction with Landscape Architect's information for Landscaping Scheme refer to Landscape Architects' Developed Landscape Design document

PLANNING

1839/S206

RHIGIAN, NEWPORT
PEMBROKESHIRE

PROPOSED GARAGE
WEST ELEVATION

1:100@A3 AUG 20

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