

**Application Ref: NP/20/0397/FUL**

**Case Officer** Sally Tyler  
**Applicant** Mr G Thomas  
**Agent** Mr H Rees  
**Proposal** Side/Rear Extensions, 3 No. Dormer Windows to Front, 1 No. Rooflight to Rear - Accommodation to be used for Domestic Purposes Ancillary to the Main Dwellinghouse only  
**Site Location** 2, Vanderhoof Way, Saundersfoot, Pembrokeshire, SA69 9LH  
**Grid Ref** SN13240513  
**Date Valid** 19-Aug-2020                      **Target Date** 04-Jun-2021

The application is referred to development management committee for determination as the officer's recommendation for approval differs from the community council's request for refusal and at the request of the Chairman through the extended delegation scheme.

**Consultee Response**

**PCC - Transportation & Environment Reconsultation:** Conditional Consent

**PCC - Drainage Engineers:** No adverse comments

**Saundersfoot Community Council Reconsultation:** Recommend Refusal

**Public Response**

A site notice and neighbour notification letters were posted in accordance with the requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012. Notification letters were sent by the Authority to neighbouring properties on 28.08.2020 and 08.02.2021.

A site notice was erected at the site by the applicant (with evidential photos of this erection submitted to the Authority on 03.09.2020). 5 no. public objections have been received. Saundersfoot Community Council have objected to the scheme.

Revised plans were submitted by the agent to address objections received. This updated scheme was re-consulted with interested parties and the community council. No further representations have been received. The Community Council have upheld their objection to the scheme.

**Summary of Objections**

This extension would overlook the opposite properties

Rooflights would overlook surrounding properties, and may set a precedent for other properties on the row to install rooflights to the rear roofslope

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No other properties (on Vanderhoof Way) have views over the Whitlow Bungalows

The proximity of the rear wing will be very close to the rear boundary of neighbouring property and fence line.

The proposed [rear] extension would come within two metres of the fence boundary and further decrease privacy

There is an appreciable drop in ground level from the proposed development, hence increasing their view of my property

Devaluation of property

- In discussion with officers, 4 no. rooflights previously proposed to be introduced into the rear roofslope have been omitted from the scheme
- A suitably worded condition will be added to any permissions issued to require that the 1 no. remaining proposed rear rooflight serving the bathroom will be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening to a minimum of 1.7m height above internal floor level.
- In discussion with officers, the Agent has declined to omit the proposed high-level rear lozenge window from the scheme. A suitably worded condition will be added to any permissions issued to require that the high-level lozenge window in the rear (northern) elevation of the rear extension be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening, to be retained as such in perpetuity.

If the property is to be used as a photographic studio does that mean it will need commercial planning? And if so what allowance has been made for parking of the customers? As only two parking bays are noted on plan and they will be taken up by the occupants of both flats.

[There is the] potential to turn the "Photographic studio and study" into a kitchen area for a one bedroom flat.

- A suitably worded condition will be added to any permissions issued to require that the accommodation created shall be used ancillary to the main dwellinghouse only, to be retained as such in perpetuity (ie the property cannot be split into 2 no. separate units for occupation (nor let), and that no commercial activities whatsoever shall be carried out at the site (ie the proposed photography studio must be for personal domestic use only, and shall not be used whatsoever for commercial purposes).

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- In discussion with officers, the Agent has declined to omit the proposed high-level rear lozenge window from the scheme. A suitably worded condition will be added to any permissions issued to require that the high-level lozenge window in the rear (northern) elevation of the rear extension be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening, to be retained as such in perpetuity.

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### **Officer's response to Community Council Objections**

No other properties in the road have dormer windows to the front.

- Each site and proposed development is considered on its own individual merits, and the absence of other similar development on other properties within the row is not in itself sufficient planning justification for refusal. Addition of 3 no. dormer windows into the principal roofslope of the property is not considered to be inappropriate design in this instance, as the property faces immediately towards the rear of other properties on the Ridgeway, which feature an amalgamation of all-sorts of different structures and designs to their rear – Therefore, it is considered that alteration of the appearance of the principal roofslope of the bungalow will not cause any further adverse impact on the quality of the streetscene in this location than is already caused by other rear development to the dwellings which the site immediately faces towards. The addition of 3 no. dormers to the principal roofslope of this property, in itself is considered suitable design in this location.

The question was raised if it is a dwelling or business premises.

- A suitably worded condition will be added to any permissions issued to require that the accommodation created shall be used ancillary to the main dwellinghouse only, to be retained as such in perpetuity. The agent has declared in writing (to be approved as part of any permissions issued) that all accommodation to be created by the proposal is to be used for domestic purposes ancillary to the main dwellinghouse only, and this information must be taken, within planning terms, at face-value.

The garage to be demolished is single storey which will be developed to a two storey living quarters linking to a single-story existing garage, this was considered to be over development of the area of plot.

- Officers considered that the scale of the proposed development is acceptable in this instance, based upon the agent's declaration that no element of the development will overhang the adjoining property. The development will result

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in creation of a 1.5 storey dwelling - with additional dormer accommodation created within the existing roofspace.

Although as presented it is an attractive proposal, due to the location and nature of the existing building and neighbouring buildings, request that the Planning Authority consider this application for refusal.

Re-consultation response: Following consideration of the amended plans Saundersfoot Community Council's views have not altered in any way and its original response stands

### **Policies considered**

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website -

<http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

LDP2 Policy 01 - National Park Purposes and Duty

LDP2 Policy 04 - Saundersfoot Local Centre

LDP2 Policy 08 - Special Qualities

LDP2 Policy 10 - Sites and Species of European Importance

LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park

LDP2 Policy 29 - Sustainable Design

LDP2 Policy 30 - Amenity

LDP2 Policy 32 - Surface Water Drainage

LDP2 Policy 60 - Impacts of Traffic

PPW11

SPG02 - Low Impact Development making a positive contribution

SPG05 - Sustainable Design

SPG06 - Landscape

SPG12 - Parking

TAN 05 - Nature Conservation and Planning

TAN 12 - Design

### **Constraints**

Ancient Monument - within 500m

LDP Centre:60pc aff housing;30 units/ha

Recreation Character Areas

Surface Coal

High Coal Risk

Affordable Housing Submarkets

## **Officer's Appraisal**

### **Site and Context**

Please refer to drawings and site photos

### **Relevant Planning History**

PA/20/0042 Conversion of roofspace to bedroom & living area & construction of side extension to replace existing flat roof garage Recommended Approval 26-Jun-2020

### **Description of Proposal**

- addition of 3 no. dormer windows to principle roofslope
- Removal of existing chimney stack
- addition of pitched roof extension over existing single storey flat-roofed garage, creating secondary entrance point to property
- addition of rear single storey extension, featuring high-level lozenge window in rear elevation
- addition of 1 no. rooflight in rear roofslope
  
- External materials to match existing property
- Extension is to provide photography studio (for domestic purposes only) and study, with separate entrance point and staircase linking to bathroom, living room and bedroom suite in roof space.

### **Key Issues**

The application raises the following planning matters:

- *Policy and Principle of Development*
- *Siting, Design and Impact upon the Special Qualities of the National Park*
- *Amenity and Privacy*
- *Access and Parking*
- *Landscaping*
- *Biodiversity*

### **Policy and Principle of Development:**

Policy 1 of the Pembrokeshire Coast National Park Local Development Plan 2 (LDP2) sets out the National Parks' purposes and duty, in order to ensure that development within the Park is compatible with these. Policy 4 of LDP2 permits development in Saundersfoot which 'contributes to the protection and enhancement of the village's special qualities'.

The site lies within an established residential estate within the Saundersfoot centre boundary (as defined by LDP2 2020). The property is located on a private (unadopted) cul-de-sac. The proposed alterations and extensions are considered to be acceptable in principle. The extensions will be contained within the established residential curtilage of the dwellinghouse and will be of a similar appearance and

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form to the host dwelling, using external materials and finishes to match the existing dwelling. A suitably worded condition will be added to any permissions issued to require that external materials used in the extensions match those of the existing property.

The agent has confirmed in writing that the accommodation proposed to be created, including the photography studio, will be used for domestic purposes only. The accommodation proposed to be created will not be used as a holiday let, nor as a separate unity of accommodation to the main dwellinghouse whatsoever. To ensure the suitability of the use of the proposed development within its context, and as a separate secondary entrance point is proposed to be introduced to access the side and rear extensions and the loft conversion over, a suitably worded condition would be added to any permission issued to ensure that none of the newly created accommodation is sub-divided from the main dwelling to create a separate unit of accommodation nor holiday let, nor is used for commercial purposes whatsoever.

Subject to the imposition of a suitably worded condition controlling the use of the proposed development, and ensuring the suitable external appearance of the extensions to match the existing host property, the principle of the proposal is considered acceptable and does not cause an adverse impact on the special qualities of the National Park or centre in this location. As such, the proposed development accords with policies 1 and 4 of LDP2 and can be supported.

### **Siting, Design and Impact upon the Special Qualities of the National Park:**

Policy 8 of the Pembrokeshire Coast National Park Local Development Plan 2 (LDP2) is a strategy policy which refers to the special qualities of the National Park and lists priorities to ensure that these qualities will be protected and enhanced.

Policy 14 of LDP2 seeks the conservation of the Pembrokeshire Coast National Park, resisting development that would cause significant visual intrusion and/or, that would be insensitively and unsympathetically sited within the landscape, and resisting development that would fail to harmonise with, or enhance the landform and landscape character of the National Park and/or fails to incorporate important traditional features.

Policy 29 of LDP2 requires all development proposals to be well designed in terms of place and local distinctiveness.

It is not considered that addition of a pitched roof over the existing linked flat-roofed garage will cause an unacceptably adverse impact on the visual appearance of the host dwelling, nor to the quality or character streetscene. Plans have been amended to ensure that no element of the proposal overhangs the boundary with the adjoining property. The pitched roof over the existing garage is considered to replicate the appearance, form and scale of the host dwelling.

Addition of 3 no. dormer windows into the principal roofslope of the property is not considered to be inappropriate design in this instance, as the property faces immediately towards the rear of other properties on the Ridgeway, which feature an amalgamation of all-sorts of different structures and designs to their rear –

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Therefore, it is considered that alteration of the appearance of the principal roofslope of the bungalow will not cause any further adverse impact on the quality of the streetscene in this location than is already caused by other rear development on the properties which immediately face towards the site.

Materials to match the existing property throughout the scheme is welcomed.

The proposal is considered to be an appropriate design which is compatible with its context, surroundings and character and appearance of the existing host property and the streetscene, and complies with policies 8, 14 and 29 of LDP2.

### **Amenity and Privacy:**

Policy 30 of LDP2 refers to 'amenity' in general, seeking to avoid incompatible development and significant adverse impact upon the amenity enjoyed by neighbouring properties.

4 no. rooflights which were previously proposed to be introduced into the rear roofslope of the dwelling have been omitted from the scheme, in the interests of preserving the privacy and amenity of neighbouring properties on Whitlow. This omission is welcomed.

The high-level lozenge window proposed to be introduced into the rear elevation of the proposed rear extension will come within 2m of the shared rear boundary of neighbouring property 38 Whitlow. Due to the topography of the land, the site is raised above the rear garden of 38 Whitlow by some 1-2 meter(s). The proposed window will rise above the height of any domestic boundary treatments between plots, giving vantage over the rear garden of the neighbouring property below. Officer's request to omit this window from the scheme, in the interests of preserving the privacy and amenity of neighbouring properties on Whitlow, has been declined by the agent. Inclusion of this window, in close proximity to the rear boundary with the neighbouring property, overlooking the private rear amenity space of 38 Whitlow is considered unfortunate.

However, as this window lies 1.7m above the internal floor level of the habitable room which it serves, it is not considered that the degree of overlooking possible from this window into the garden of neighbouring property 38 Whitlow provides sufficient grounds for refusal of the application. This is subject to a suitably worded condition being added to any permissions issued to require that the high-level lozenge window in the rear elevation of the rear extension be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening, to be retained as such in perpetuity. Any drawings approved, will be approved notwithstanding notation which shows this window as an opening casement.

A suitably worded condition will be added to any permissions issued to require that the rear rooflight serving the bathroom will be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening to a minimum of 1.7m height above internal floor level, in the interests of preserving the privacy and amenity of neighbouring properties on Whitlow. As this rooflight serves a non-



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habitable room, its inclusion within the rear roofslope of the property, with obscured glazing, is considered acceptable in this instance.

As previously discussed, the agent has confirmed in writing that no commercial activities, nor creation of a separate unit of accommodation nor holiday let will be created by the development. With this in mind, use of the development as a single residential unit is not considered to cause an adverse impact on the privacy or amenity of neighbouring properties.

Subject to the imposition of suitably worded conditions relating to obscured glazing, non-opening windows, and suitable domestic use of the accommodation created, the scheme is not considered to cause an adverse impact on the privacy and amenity of neighbouring properties to an unacceptable degree and should be supported.

### **Access and Parking:**

In consultation with the Highways Department at Pembrokeshire County Council, it is considered that insufficient information has been provided with this application to detail adequate off-road parking provision at the site to serve the increase in bedroom number proposed. 1 no. existing off-road vehicular parking space will be lost via conversion of the existing garage into additional domestic accommodation.

The Highways Authority request that 2 no. or 3 no. off-road parking spaces be provided at the site to serve the enlarged property - however, provision of this number of parking spaces would require removal of a length of existing domestic hedging within the front garden of the property and loss of (or partial loss of) the existing grassed lawned area to the front of the property. The existing landscaping to the front of the property in itself forms an attractive part of the streetscene and its loss would be regrettable. The grassed and vegetated front gardens of the properties in the row and their uniform front boundary treatments provide attractive character within the streetscene. Loss of the property's front boundary treatment and/or garden to make way for the required additional parking provision which is needed to make the proposed enlargement of the property acceptable, would be regrettable.

A suitably worded pre-commencement condition would be added to any permissions issued to require that details of adequate off-road parking provision at the site, and treatment of the existing front garden, vegetation/landscape features and boundary treatment to the frontage, be submitted for the express written consent of the Authority and the Highways Authority prior to the commencement of any works on site. Agreed details shall be completed and brought into use prior to the occupation of any accommodation hereby approved.

A suitably worded informative note would be added to any permissions issued to inform that all plant, machinery, materials and vehicles associated with the works should be stored within the site and that no users of the highway/access to the front of the property (either vehicular or pedestrian) should be obstructed by the works on site. It is considered the site can provide sufficient off-road provision for the storage of materials and vehicles associated with the construction phase.

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Therefore, subject to the suitable pre-commencement discharge of conditions related to off-road parking provision at the site, and associated suitable treatment of the existing front garden, vegetation and boundary treatment alongside the street frontage to the front of the property, the development is considered to accord with policy 60 of LDP2 and should be supported.

### **Landscaping:**

As noted in the 'Access and Parking' section of this report, existing vegetation and lawn to the front of the property will likely be removed (in either whole or part) to create the requisite off-road parking provision required to serve the enlarged accommodation proposed.

As noted, loss of existing vegetation, front garden and existing boundary treatment to the street frontage of the property will have planning implications in its own right, in terms of the impact which this loss will cause to the quality and visual amenity of the streetscene - as the site forms part of a row of uniform bungalows, having uniform and coherent garden frontages to all properties of the row - which creates an attractive and coherent streetscene in its uniformity. Further details on these matters will be required to be submitted for the consideration and written consent of the Authority, prior to the commencement of any works on site.

The proposed rear extension will be sited on land already laid to domestic lawn, the loss of which is not considered to be unacceptable in this instance.

It is considered that further information, to be provided via pre-commencement discharge of condition, be required in order for the impact of the proposed development on the existing landscape features of the site to be adequately assessed.

### **Biodiversity:**

PPW, TAN5 and LDP2 policy 11 requires biodiversity considerations to be taken into account in determining individual applications. The presence of a species protected under UK or European legislation is a material consideration when dealing with applications that are likely to result in disturbance or harm to the species or its habitat.

The Authority's Ecologist has been consulted on the scheme and no adverse comments have been received.

2 no. suitably worded standard conditions will be applied to any permissions issued to require that a biodiversity enhancement measure, to include at least 1 no. bat box or 1 no. bird box be installed under the eaves of the property, on an elevation which does not feature any external lighting, to be installed prior to first beneficial use of the development hereby approved, and to be retained as such in perpetuity.

A further suitably worded condition would be added to any permissions issued to require that installation of any external lighting associated with the development will require the express written consent of the authority prior to any installation, and that

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any external lighting to be installed in association with the development shall omit less than 600 lumens in intensity, shall be low-level, shall be hooded to direct any light spillage towards the ground and shall operate on a PIR system only.

Suitably worded advisory notes will be added to any permissions issued to require that a precautionary approach be taken to unexpectedly encountering ecology on the site during the course of the works.

As such, subject to the imposition of suitable conditions, the development is considered to accord with statutory requirements relating to biodiversity and policy 11 of Local Development Plan 2 2020 and can be supported.

### **Land Drainage:**

Policy 32 'Surface Water Drainage' of the LDP states that "Development will be required to incorporate sustainable drainage systems for the disposal of surface water on site". A further note states "The disposal of surface water run-off from development both during construction and after completion requires careful consultation in order to minimise its adverse environmental impact".

The development will result in an increase of impermeable surface area (roofslopes and hard surfaced area) at the site. No details have been provided with this application as to how the increased surface water run-off from roof areas or parking area will be dealt with at the site.

2 no. standard drainage conditions will be added to any permissions issued to ensure that all surface run-off from all hard surfaces at the site is disposed of to soakaway or to some other form of sustainable drainage system, to be retained as such in perpetuity.

A further suitably worded condition will be added to any permissions issued to ensure that any external surfaces at the site are laid to permeable or semi-permeable materials only, to be retained as such in perpetuity. Details of surface treatments proposed to be laid in the enlargement of the parking area to the front of the property should be specified as part of the pre-commencement discharge of condition, as previously discussed in the "Access and Parking" Section of this report. Permeable or semi-permeable surface treatments should be specified only.

As such, with the imposition of 2 no. suitably worded conditions added to any permissions issued, the development is considered to accord with policy 32 of Local Development Plan 2 2020 and can be supported.

SAB approval to any drainage system may also be required from PCC, notwithstanding the proposed conditions, and an informative would be added to that effect.

### **Conclusion**

The proposed scheme by virtue of its scale, form, appearance and declared use is considered to be acceptable in the context of the host property, streetscene and

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wider landscape - subject to the pre-commencement agreement of suitable front amenity area and boundary treatment alterations which are required to create adequate off-road parking provision at the site, so as not to cause a detrimental impact to the quality and character of the streetscene in this location.

Use of materials to match the host property is welcomed. Privacy and amenity concerns impacting neighbouring properties have been suitably mitigated by omission of 4 no. rooflights from the scheme, and by imposition of suitable conditions relating to obscured glazed and non-opening windows.

Conditions that the accommodation to be created is not subdivided from the host property nor used for holiday let nor commercial purposes whatsoever, will ensure that the use of the extensions are suitable to the residential context of the site. No unacceptably adverse impacts are considered to be caused to biodiversity, as a result of the development. Control by condition of external lighting to be installed at the site and sustainable drainage measures is considered acceptable.

Further details will be required to be agreed via pre-commencement discharge of condition relating to off-road parking provision at the site, and the associated alterations this provision will require to the front of the property, as noted above.

The proposal is not considered to adversely affect the special qualities of the National Park in this location to an unacceptable degree, and subject to various conditions, and the face-value information relating to use, supplied as part of the application, the proposal is not considered to be unacceptable development within in the context of the residential setting, the wider landscape of Saundersfoot, nor within this area of the National Park. As such, the proposal is considered to accord with policies 1, 4, 8, 9, 11, 15, 29, 30, 32, and 60 of LDP2 and should be supported.

### **Recommendation**

#### **APPROVE, subject to the following conditions:**

1. The development shall begin not later than five years from the date of this decision.  
Reason: Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
2. The development shall be carried out in accordance with the following approved plans and documents: 01A Existing location & block plans 19.08.2020, 06B Proposed ground floor plan 19.08.2020, 09 Rev D - Proposed Roof Space Plan rec'd 1/2/21, 12 Rev D - Proposed Elevations rec'd 1/2/21 approved notwithstanding notation showing high-level lozenge window in northern (rear) elevation of rear extension as an opening casement, 14 Rev C - Proposed Materials rec'd 1/2/21 approved notwithstanding notation showing high-level lozenge window in northern (rear) elevation of rear extension as an opening casement, 18 Rev B - Section B-B rec'd 1/2/21, Agent's Confirmation of Domestic Use Only Email 09.04.2021

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Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

3. External materials and finishes shall match those of the host property. To be retained as such in perpetuity.  
Reason: To ensure a proper standard of development and appearance in the interests of conserving the amenities and special qualities of the area. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).
4. The development hereby approved shall not be used for any purpose other than as domestic accommodation, to be used ancillary to the residential use of the dwelling known as 2 Vanderhoof Way only. The accommodation shall not be used or disposed of as a separate unit of accommodation, nor as a holiday let, nor used for any commercial purposes whatsoever.  
Reason: In order to be clear on the type of development sought and approved as the development would not be approved as a separate unit of accommodation. Policy: Local Development Plan 2 – Policies 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).
5. Before the development hereby approved comes into first beneficial use, the high-level lozenge window in the rear (northern) elevation of the rear extension shall be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening, to be retained as such in perpetuity.  
Reason: In the interests of conserving the privacy and amenity of adjacent properties. Policy: Local Development Plan 2 - Policy 30 (Amenity).
6. Before the development hereby approved comes into first beneficial use, the rooflight in the rear (northern) roofslope of the property shall be obscured glazed to a minimum of level 3 on the Pilkington scale of obscurity, and be non-opening to a minimum of 1.7m above internal floor level, to be retained as such in perpetuity.  
Reason: In the interests of conserving the privacy and amenity of adjacent properties. Policy: Local Development Plan 2 - Policy 30 (Amenity).
7. Prior to the commencement of any works on site, details shall be submitted for the express written consent of the Authority to detail off-street parking provision for a minimum of 2 no. cars, with the minimum dimensions of 5.5 metres in width (per space) and 5.5 metres deep; and the approved layout shall be complete and brought into use before any part of the development is occupied. The details shall include treatment of: - the existing front garden, - the existing vegetation/landscape features to the frontage, - the existing boundary treatments to the street frontage and - any proposed surface treatments to be laid.  
Reason: To reduce the likelihood of obstruction of the highway or danger to

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road users. In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park), 29 (Sustainable Design) and 60 (Impacts of Traffic).

8. Before occupation of the development hereby approved, a biodiversity enhancement scheme, to include installation of 1 no. bird box or 1 no. bat box, shall be installed under the eaves of the dwelling, on an elevation which does not feature any external lighting. To be retained as such in perpetuity.

Reason: In the interests of maintaining the special qualities of the landscape and habitats of the National Park through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 11 (Protection of Biodiversity), 14 (Conservation of the Pembrokeshire Coast National Park), 30 (Amenity). To comply with the Wildlife & Countryside Act 1981 (as amended), the Conservation of Habitats and Species Regulations 2017 and the Environment (Wales) Act 2016.

9. No external illumination shall be installed as part of the development without first securing the express written consent of the Authority. Any external lighting installed as part of the development shall be low-level, shall be hooded to direct all light spillage towards the ground, shall omit less than 600 lumens in intensity and shall operate on a PIR system only. To be retained as such in perpetuity.

Reason: To ensure that animal and plant species which within the terms of the Conservation (Habitats 2c) Regulations 1994 are effectively protected and the Local Development Plan 2 – Policy 11 - Protection of Biodiversity. In the interests of preserving the amenity of surrounding properties - Policy 30 - Amenity.

10. Surface water run-off from all impermeable areas created by the scheme shall be disposed of to soakaways or some other form of sustainable drainage system. To be retained as such in perpetuity.

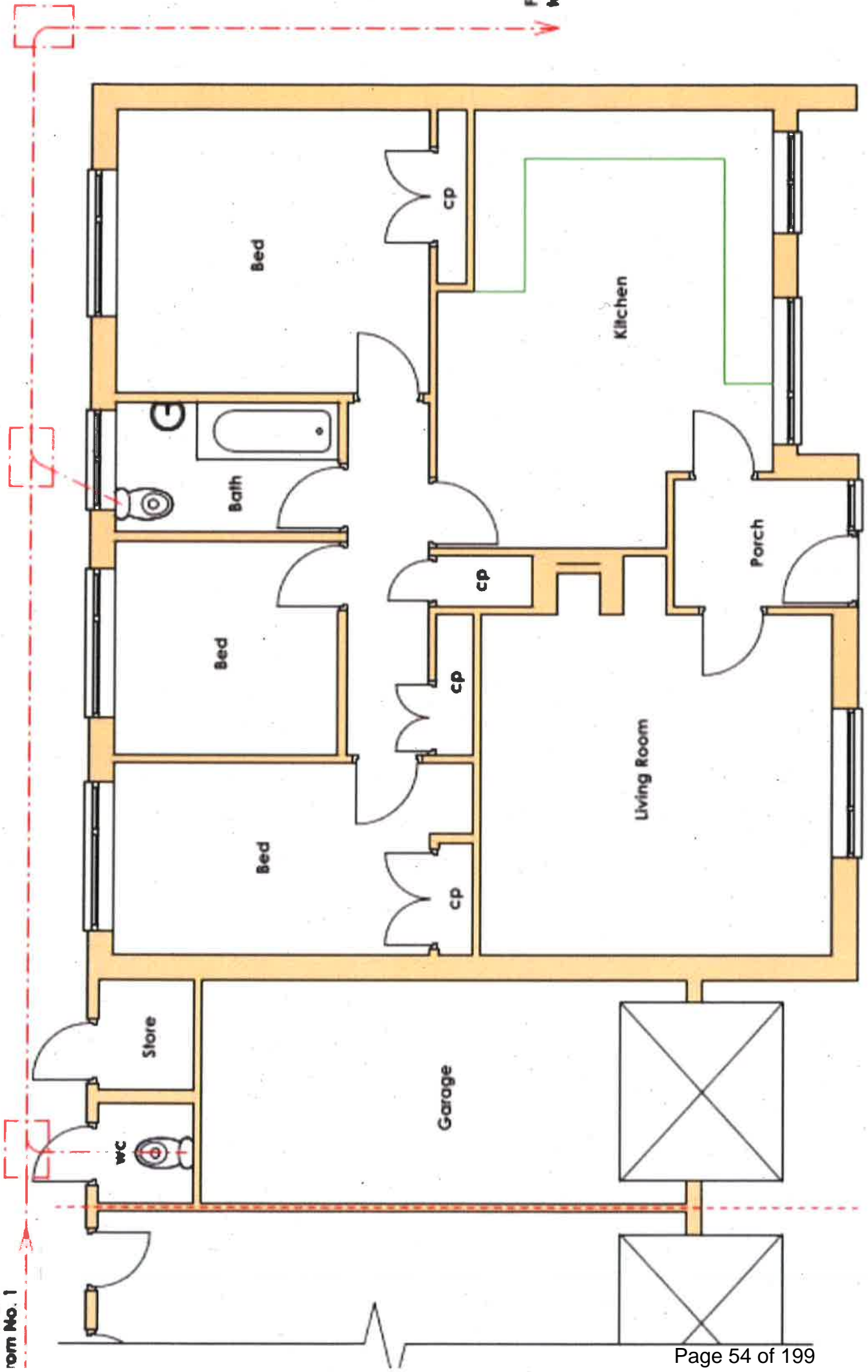
Reason: To ensure that effective drainage facilities are provided for the proposed development and that no adverse impact occurs to the environment or the existing public sewerage system. Policy: Local Development Plan 2 – Policy 29 (Sustainable Design), Policy 32 (Surface Water Drainage).

11. All surface treatments laid as part of the scheme will be laid to permeable or semi-permeable materials only and retained as such in perpetuity.

Reason: To ensure that effective drainage facilities are provided for the proposed development and that no adverse impact occurs to the environment or the existing public sewerage system. Policy: Local Development Plan 2 – Policy 29 (Sustainable Design), Policy 32 (Surface Water Drainage).

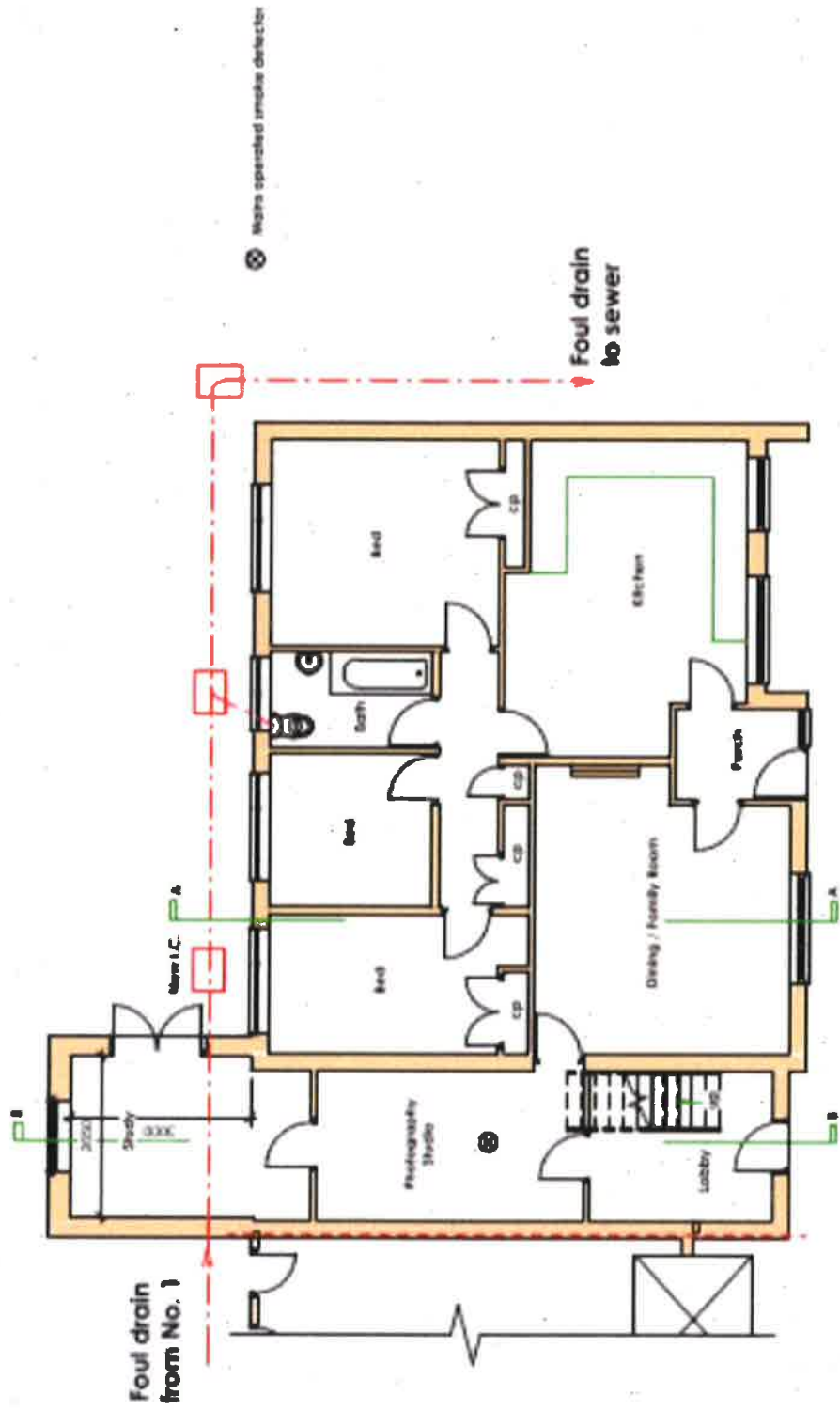


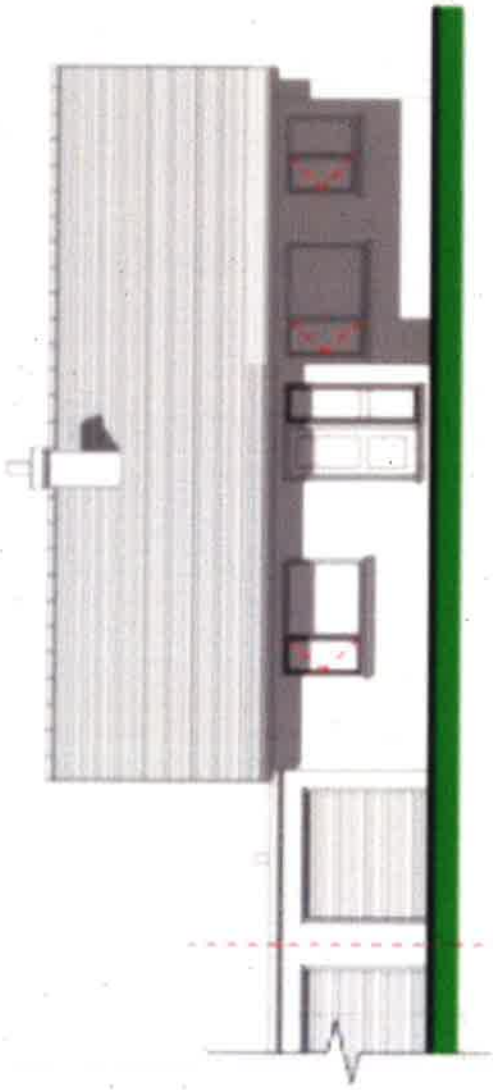
out drain  
room No. 1



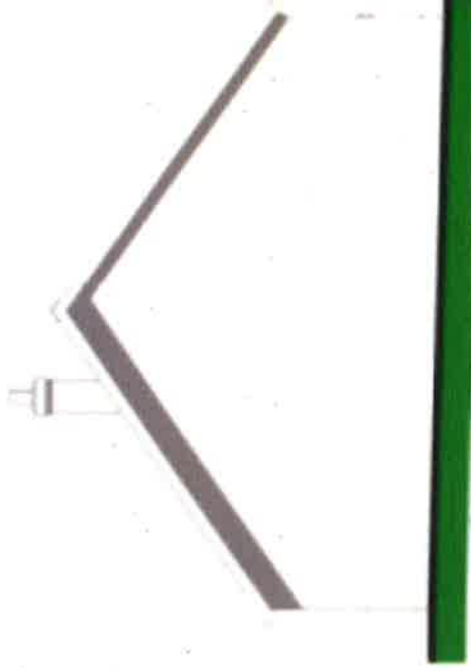
Foul drain  
to sewer



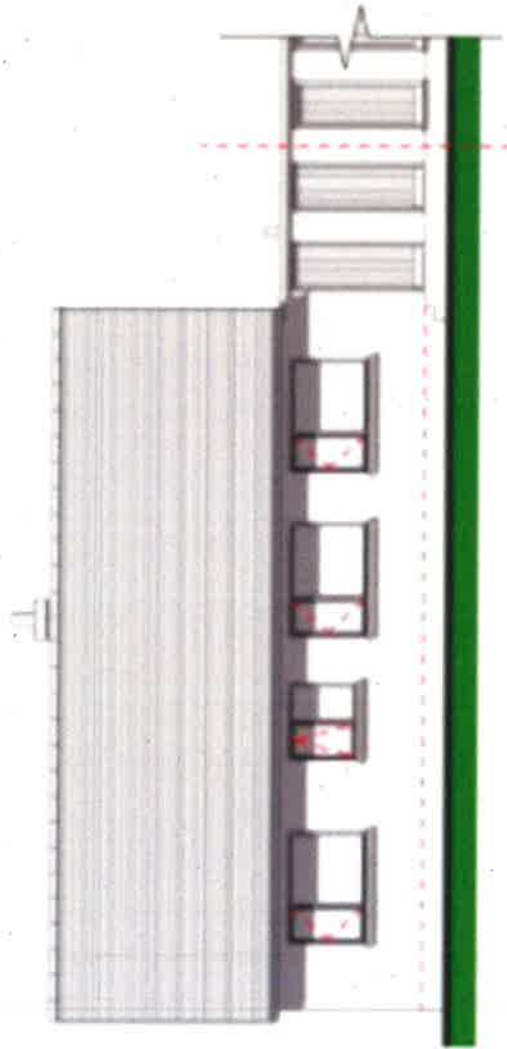




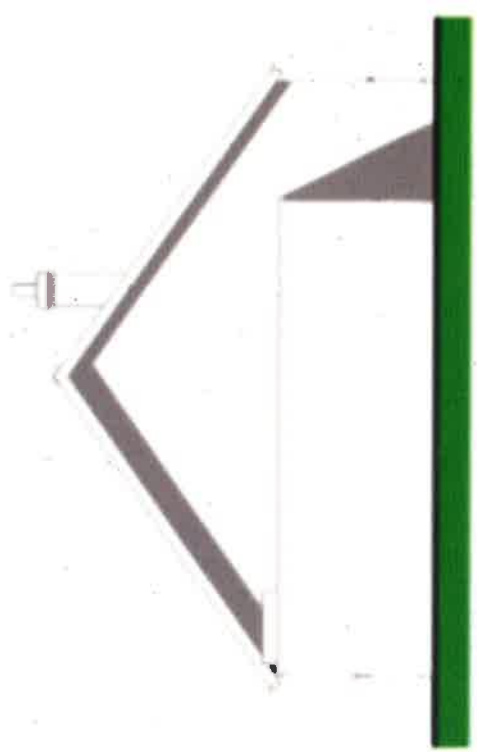
**FRONT ELEVATION - SOUTH**



**SIDE ELEVATION - EAST**



**REAR ELEVATION - NORTH**



**SIDE ELEVATION - EAST**