

Ref No: NP/21/0015/FUL
Proposal: Change of 6 touring caravans to 6 static caravans, associated external works including ecological and landscaping enhancements.
Site Location: Wynd Hill, Manorbier, Tenby, Pembrokeshire, SA70 7SL

Consultee Response

Manorbier Community Council: Refuse as proposal will result in static caravans on the skyline as you enter Manorbier

PCNPA Tree and Landscape Officer: Conditional consent

PCNPA Planning Ecologist: Conditional consent

PCNPA Park Direction: Support in principal

PCC Transportation and Environment: Conditional consent

PCC Drainage Engineers: SAB approval required

Dwr Cymru Welsh Water: No objection

Natural Resources Wales: No objection

Coal Authority: No comment

Cadw: No response to date

Dyfed Archaeological Trust: No response to date

Public Response

A site notice and neighbour notification letters were posted in accordance with requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.

Several letters have been received which raise the following aspects:

- Flooding risk from site and proposed pond
- Potential for wider site to be used for camping in the future
- Foot path concerns
- Proposal conflicts with policy 41
- Privacy concerns from static caravans
- Loss of view and outlook

The above aspects have been addressed within the main report except for the potential for the wider site to be used for camping in the future as this is not a material consideration on this application and will be considered under a separate application if proposed in the future. In addition the loss of a private view/outlook from a residential dwelling is not considered to be a material consideration in planning terms.

Policies Considered

Please note that these policies can be viewed on the Policies page of Pembrokeshire Coast National Park website -

<http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

LDP2 Policy 01 - National Park Purposes and Duty

LDP2 Policy 07 - Countryside

LDP2 Policy 08 - Special Qualities

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LDP2 Policy 09 - Light Pollution
LDP2 Policy 10 - Sites and Species of European Importance
LDP2 Policy 11 - Nationally Protected Sites and Species
LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park
LDP2 Policy 29 - Sustainable Design
LDP2 Policy 30 - Amenity
LDP2 Policy 31 - Minimising Waste
LDP2 Policy 32 - Surface Water Drainage
LDP2 Policy 34 - Flooding and Coastal Inundation
LDP2 Policy 38 - Visitor Economy
LDP2 Policy 40 - Self-catering development
LDP2 Policy 41 - Caravan, Camping & Chalet Development
LDP2 Policy 59 - Sustainable Transport
LDP2 Policy 60 - Impacts of Traffic
PPW11
SPG03 - Loss of Hotels and Guesthouses
SPG08 - Affordable Housing
SPG11 - Coal Works - Instability
SPG12 - Parking
SPG13 - Archaeology
SPG16 - Regionally Important Geodiversity Sites
TAN 05 - Nature Conservation and Planning
TAN 06 - Planning for Sustainable Rural Communities
TAN 10 - Tree Preservation Orders
TAN 11 - Noise
TAN 12 - Design
TAN 13 - Tourism
TAN 15 - Development and Flood Risk
TAN 18 - Transport
TAN 23 - Economic Development
TAN 24 - The Historic Environment

Officer's Appraisal:

Background and History

The site is situated to the south of the A4139 to the north east of Manorbier and close to the junction of the main road to the B4585 leading to Skrinkle. The site is screened to the north, east and west by existing buildings, trees and field boundaries but is exposed to the south where it is seen prominently on the ridgeline with a mature landscape backdrop.

This site has a Certificate of Lawfulness for 6 touring caravan pitches and toilet block for use from 1st March to 30th November.

Current Proposal

Planning approval is sought for the change of 6 touring caravans to 6 static caravans, associated external works including ecological and landscaping enhancements.

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Key Issues

The application raises the following planning matters:-

- Policy and Principle of Development
- Visual Amenity and Special Qualities of the National Park
- Siting and Sustainable Design
- Amenity and Privacy
- Highway Safety and Access
- Landscaping and Biodiversity
- Land Drainage and Flooding

Policy and Principle of Development:

Correspondence has been received which raises the concern that the proposal is contrary to Policy 41 of LDP 2.

Policy 38 of LDP2 is the strategy policy for visitor economy and allows for limited caravan, camping and chalet development. Further detail is set out in Policy 41 of the Plan which allows for new pitches and changes of pitch types within existing sites, away from the coast and Presellis and in locations not intervisible with them. The policy is based on a study undertaken in 2015 to examine the capacity of the National Park landscape to absorb additional camping and caravanning development and now forms Supplementary Planning Guidance to LDP2.

The site is within landscape character area 4 as set out in the SPG. The sensitivity of this area is linked to the generally undeveloped coastal edge and associated slopes, the ridge slopes to the north, the open character of the landscape and the Registered Historic Landscape. The summary of the capacity states that there is no further capacity for development where there are existing clusters of sites as they already affect the landscape character and further intensification would lead to cumulative impact. It is recognised that there may be potential for small sites away from the coast in flat, enclosed locations which are not overlooked and preferably outside of the Registered Historic Landscape.

Whilst the wider application site area extends further, the northern field currently used for the touring caravan pitches and proposed static pitches measure approximately 0.5ha. In the context of the SPG the site is a small to medium size to which there is 'medium sensitivity' indicated. Within this context the SPG identifies that the landscape is susceptible to change but officers consider that there is some potential to accommodate the relevant area of development in this site without significant character change or adverse effects on the special qualities of the National Park.

Policy 14 of LDP2 seeks to conserve and enhance the National Park by preventing development that would have an unacceptable adverse effect on the qualities and landscape of the National Park, including those causing visual intrusion.

This application site also includes additional landscaping as part of the field immediately to the south and north of the land currently used as a touring caravan

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site, within which a new pond, woodland, wildflower meadow, screen planting, hedgerow planting and an orchard are proposed. These elements of the application would significantly assist in screening the proposed static units, potentially improving the situation whereby the currently permitted touring caravans are exposed and prominent in the landscape.

The acceptability of introducing the landscaping elements into the landscape here have been fully considered by the Authority's planning ecologist and NRW. CADW and Dyfed Archaeological Trust have also been consulted in terms of potential impact on the Registered Historic Landscape and a further response on these consultations will be provided at the committee meeting. The overall proposal is considered by officers to enhance the area in terms of screening and have the ability to visually contain the proposed change of use of the caravan units to more permanent static units. This would further be assisted by using appropriately coloured caravan units.

Therefore, the proposal including the improved landscaping to the site, is considered to be compatible with the policies of LDP2. The principle of the development is also considered acceptable.

Visual Amenity and Special Qualities of the National Park

Manorbier Community Council have indicated that the application should be refused as proposal will result in static caravans on the skyline as you enter Manorbier.

Policy 8 of LDP2 is a strategic policy which refers to the special qualities of the National Park and lists priorities to ensure that these special qualities will be protected and enhanced. Particularly relevant to this application area priority a) sense of remoteness and tranquility is not lost and wherever possible enhanced and c) pattern and diversity of the landscape is protected and enhanced.

Policy 14 of the LDP2 seeks the conservation of the Pembrokeshire Coast National Park with criteria 'a' and 'b' resisting development that would cause significant visual intrusion and/or, that would be insensitively and unsympathetically sited within the landscape. Criteria 'c' and 'd' resists development that would fail to harmonise with, or enhance, the landform and landscape character of the National Park, and/or fail to incorporate important traditional features.

Policy 29 of the LDP2 requires all development proposals to be well designed in terms of place and local distinctiveness (criterion 'a'). Policy 30 of the LDP2 seeks to avoid development that is of an incompatible scale with its surroundings (criterion 'b') or is visually intrusive (criterion 'd').

The application site lies within Landscape Character Area 4 (Manorbier/Freshwater East) as defined by the Landscape Character Assessment (LCA) Supplementary Planning Guidance (SPG). The area's special qualities are listed in this document, one of which is as follows:-

'There is a very strong historical and cultural sense of place here, which is very different from that encountered in north and west Pembrokeshire, typified by the

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Medieval open field system which has survived remarkably well in the area - the stripfields which lie either side of the Ridgeway between Lamphey and to the south of St Florence. The wealth of historical and archaeological sites documented means that extensive areas of historic landscapes have an outstanding value attributed to them. Of particular note are the medieval buildings: the Lamphey Bishop's Palace, a moated house site at Hodgaston and the extremely well preserved manorial landscape of Manorbier, with its imposing castle dominating the village scene, the prominent church and a dovecote. The historical value in turn supports'

Within this LCA caravan sites and modern housing are noted as visual detractors and management guidelines include measures to improve the integration of tourism development into the landscape and regular cyclical management of hedgerows.

The applicant has submitted a landscaping scheme in order to attempt to provide mitigation against the visual impact of the proposed 6 static caravans. Whilst the site boundaries comprise hedgebanks with trees which are mainly to be retained, the boundary to the south is completely open at present.

In terms of landscaping, the application proposes a good level of new soft landscaping throughout the site which will increase the screen planting around the caravan site and especially to the southern boundary, this also includes some central planting areas and wildlife areas with the aim of improving the environmental benefit of the site and its setting in the surrounding landscape.

In terms of the impact of the development on the wider setting, it is considered that the proposal to allow 6 static caravans in place of seasonal touring pitches would result in a small extension to the built form of the existing site, outside of the rural centre and has the potential for detriment impact of the rural character of the area without the proposed level of landscaping being provided within the current scheme.

The proposed static caravans will measure 12.19m in length by 6.09m in width and reach a maximum height of 4.70m. Each caravan will have a private deck area and will be finished with an option of timber cladding or composite cladding to three different colour options, UPVC glazing, and dark metal roof covering.

Medium views of the host site and adjacent caravan sites are afforded from the coast path route to the south which passes the entrance to the MOD site. Whilst

The development would result in all year-round static caravans which, due to their position, layout, design, materials and associated landscaping will be less prominent in the landscape than the existing touring caravans when located on the site.

In addition the agent has provided further information on the proposed materials and colours to be used for the proposed static caravan units and associated decking areas. Officers consider that Sierra Brown panels are likely to be recessive and less visible than the paler Sandalwood or Acadia and is therefore preferred for the walls and decking and this will be secured through a planning condition.

Therefore, it is considered that the scheme can be supported in terms of its impact on the visual amenity and special qualities of the National Park.

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Siting and Sustainable Design:

The siting of the 6 static units and associated works are considered to be appropriate in this instance and will result in a layout that provides a good degree of separation between units and an orientation which respects each unit's privacy within the site. The design of these units is also considered to be acceptable and provides a good level of insulation to each unit.

Amenity and Privacy:

Correspondence has been received which raises concerns on privacy impact from the proposed static caravans on existing residential properties.

Policy 30 of LDP2 refers to matters of amenity, and requires proposals to be appropriate to where people live and work, compatible with its setting, should not lead to an increase in traffic, odour, noise or light, and should not be visually intrusive.

Officers do not share the above concerns on the proposed development given that the nearest residential dwelling which are not in the control of the applicant is 53metres to the west and is well screened from mature landscaping. Other residential properties are located to the south and these are some 170metres and 300metres away and whilst these are at a lower level to the development the distances indicated are considered to be such that they would prevent any adverse privacy impact from the development on these properties.

Having regard to the above the proposed development is considered to be acceptable in terms of amenity and complies with policy 30 of the LDP2.

Highway Safety and Access:

Correspondence has been received which raises concerns on an existing footpath through the south of the site leading onto the B4585 road which gives access between Manorbier and the residential estates at Skrinkle.

In Highways terms, it is considered that there can be a safety "gain" in having holiday makers mostly use cars. Otherwise, they are towing long caravan units in and out on an almost day-to-day basis during the holiday season. Extending the holiday season does not mean that peak time traffic is increased. The wall on each side of the access is low which provides fairly good visibility. The highway officer is not clear whether there is any previous control to limit the height of the front boundary walls so suggests a condition is added with this application, so that it can be enforced in the future if needed to be. No concerns have been raised in respect of the existing footpath as previously mentioned above so therefore this aspect is not considered to raise any concerns from a highway safety aspect.

Landscaping and Biodiversity:

The open and rolling nature of the topography of the land to the south, towards Manorbier Youth Hostel leaves the site exposed for long distances towards the

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coast. Extension of the use of the site through the winter months is likely to increase exposure of caravans, including in closer views to the south-west and east without a robust landscaping scheme.

The proposed landscaping is welcomed and the additional planting and wildlife pond would ensure biodiversity enhancements for the site. Although the landscaping scheme does include some species not native to Pembrokeshire, these would not be out of character for the proposed development. However, the replacement of Box with an alternative native shrub would be welcomed as this would be more likely to support a greater number and diversity of species.

The inclusion of some native Oak where tree planting is proposed would also be welcomed. The wildflower meadow areas should be seeded using, where possible, locally source seeds, but as a minimum all seeds included in the mix should be native to the area. The wildlife pond should also only include native species, links have been included below which include advise on how to create wildlife ponds.

The proposed landscape plan is acceptable in principal; although there are some non-native species proposed; these would be acceptable in the setting of the proposed site, however, the specific species proposed as part of the landscape plan can be conditioned to ensure that the proposed landscaping in its entirety is acceptable.

The proposed external lighting in the form of low level bollard lighting is also welcomed and will result in a controlled level of lighting for the site and will have a design and be positioned to avoid light pollution.

Natural Resources Wales have not raised any objection to the current proposal. Therefore, the proposal is considered to be acceptable subject to the above elements being conditioned.

Land Drainage and Flooding:

Correspondence has been received which raises concerns of flooding risk from site and proposed pond due to the existing topography from the sloping site to the south of existing touring site which slopes down towards the adjacent road and residential estate beyond.

Officers have considered the surface water flooding data currently available and whilst this data does indicate a small area outside of the site ownership in an area of scrubland immediately adjacent to the B4585 road. No other flooding is identified within 100metres from this area. However, several areas of surface water flooding are identified within the Skrinkle area but appear to be sourced from a larger separate area which is located south west of Dewing Avenue and Gray Avenue. A map of the available data on surface water flooding areas within the vicinity can be shown at the committee meeting to inform Members if required.

Pembrokeshire County Council Drainage Engineers have indicated that the proposal will require formal SAB approval prior to the commencement of works and an informative note will be added to cover this aspect.

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Natural Resources Wales have not raised any objection to the current proposal but an informative note will be added to any consent in respect of foul drainage discharge.

Welsh Water has raised no objection to the proposed development in terms of water supply.

Conclusion

Notwithstanding the objections received, following consideration of the policies contained within the Local Development Plan 2 and National Planning Policy in the form of Planning Policy Wales (Edition 11, February 2021) and having regard to all material considerations it is considered that the development will be in keeping with the aims of the LDP2 in that the development and will conserve and enhance the existing character of the site and the special qualities of this area of the National Park. As such, and subject to a schedule of suitable conditions to control the development, the development is considered to be acceptable and complies with the requirements of Local Development Plan 2.

Recommendation

A further verbal report will be given on the consultation responses from Cadw and Dyfed Archaeological Trust. Subject to that the recommendation is **APPROVE** subject to conditions.

Conditions

1. The development shall begin not later than five years from the date of this decision.

Reason: Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development shall be carried out in accordance with the following approved plans and documents:

Drawing Reference: 001 (Received 28.01.2021)

Drawing Reference: 02/Rev A (Received 28.01.2021)

Drawing Reference: 03/Rev B (Received 08.02.2021)

Drawing Reference: 04/Rev A (Received 28.01.2021)

Drawing Reference: 05 (Received 22.01.2021)

Drawing Reference: 06/Rev B (Received 08.02.2021)

Drawing Reference: 101 (Received 08.02.2021)

Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

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3. There shall be no growth or obstruction to visibility over 0.6m above the level of the crown of the adjacent carriageway within 2.4m of the near edge of the carriageway, over the whole frontage of the site to the Class 1 Road.
Reason: In the interests of road safety. Policy: Local Development Plan 2 - Policy 60 (Impacts on Traffic).
4. Notwithstanding the details submitted on the colours for the wall cladding on the static caravans and associated decking, Sierra Brown colour is to be used on the wall cladding and associated decking and shall thereafter be retained in accordance with these details.
Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).
5. No development, demolition or site clearance shall take place until there has been submitted to and approved in writing by the local planning authority a scheme relating to the immediate landscape. The approved scheme shall include the following details:
- Landscaping details taking account of the comments made by the ecologist's consultation response.
 - Details of implementation of the landscaping scheme.
- The landscaping shall be implemented as approved.
Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 10 (Sites and Species of European Importance), 11 (Nationally Protected Sites and Species), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).
6. All retained trees, hedgebanks and hedge boundary features and/or any trees whose canopies overhang the site shall be protected by strong fencing, in accordance with BS5837: 2012 Trees in relation to design, demolition and construction – Recommendations for the duration of the development, with the location and type agreed with this authority prior to commencement. The fencing shall be erected before any equipment, machinery or materials are brought onto the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed within any fenced area, and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the prior written consent of the local planning authority.
Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape, and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 – Policies: 1 (National

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Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park), 30 (Amenity), Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997).

7. The development hereby permitted shall be carried out in accordance with the submitted plans and details, with no more than 6 static caravans as defined within the Caravan Sites and Control of Development Act 1960 and the Caravan Sites Act 1968 sited at any one time in the positions shown on the approved drawing reference: 03/Rev B (Received 08.02.2021).

Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

8. The caravan(s) shall be occupied as holiday accommodation only and shall not be occupied as a person's sole or main place of residence. An up-to-date register shall be kept at the holiday accommodation reception building and be made available for inspection by the local planning authority upon request. The register shall contain details of the names of all of the occupiers of the accommodation, their main home addresses and their date of arrival and departure from the accommodation.

Reason: In order to ensure that the accommodation is occupied solely for holiday letting purposes only and not for any other residential purpose. Policy: Local Development Plan 2 – Policy 41 (Caravan, Camping and Chalet Development), para 4.220 (supporting text).

9. Notwithstanding the provisions of Article 3 of The Town and Country Planning (General Permitted Development) Order 1995, no development within Parts 4 and 5 of Schedule 2 (relating to temporary buildings, uses and caravan sites) to that Order (or any Order revoking or re-enacting that Order) shall be carried out without specific planning permission being obtained.

Reason: To preserve the character of the area. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).

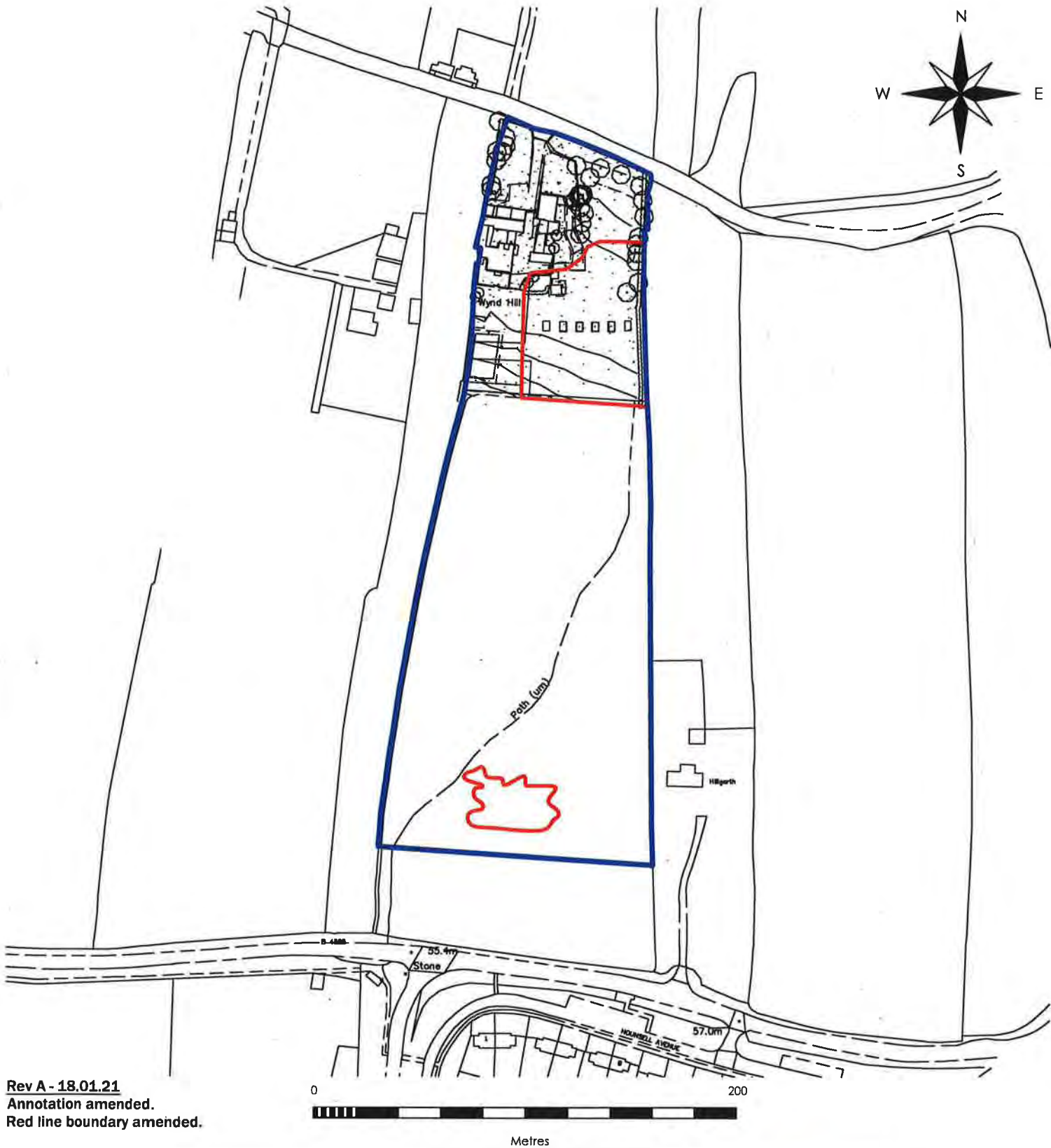
Informatives

SAB approval required

Ecologist's consultation response

Welsh Water consultation response

Natural Resources Wales consultation response



Rev A - 18.01.21
 Annotation amended.
 Red line boundary amended.

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<p>Project: Wynd Hill Hideaway, Wynd Hill, Manorbier, Tenby, SA70 7SL</p>	<p>Client: Mr R Jones</p>
<p>Dwg. Title: Location Plan</p>	<p>Scale: 1/2500 @A4</p>
	<p>Drawing No: 01 REV A</p>
	<p>Drawn By: D.B</p>
	<p>Checked By: G.B</p>
	<p>Date: 06/2020</p>



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Rev A - 18.01.21
 Amendment amended.
 Red line boundary amended.

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Project Name Wynd Hill Windmills Location Tisbury Wiltshire SN12 7JL	No. of Issue Date Drawn by Checked by Approved by Date

Landscaping and Conservation Plan

To be read alongside Ecological and Biodiversity Report

ONE: PLANTING NEW NATIVE TREES and SHRUBS in the LODGE SITE and PASTURE

The Plan of the Proposed Development (page four) shows that some trees and shrubs will be planted within the development field, especially along the southern boundary, and within the southern pasture. These will make an important contribution to the landscape, enhancing biodiversity and the well-being of residents and their guests.

- o The majority will be pure native species, as these support far more species of invertebrates than cultivars and/or non-native species. For example, Common Alder supports at least 90 species of insect while the non-native Italian Alder supports only six.
- o Most native tree species support a large number of associated insect species:
Willow 266 Birch 228 Hawthorn 148
Blackthorn 109 Aspen and White Poplar 87
Crab Apple and Wild Plum 93
Scots Pine 91 Hazel 74.
- o Native trees will also reflect the local landscape, history and ecology.
- o Larger Native Tree Species that will be included in the planting:
Aspen *Populus tremula*
Blackthorn *Prunus spinosa*
Common Alder *Alnus glutinosa*
Crab Apple *Malus sylvestris*
Downy Birch *Betula pubescens*
Field Maple *Acer campestre*
Grey Willow *Salix cinerea*
Goat Willow *Salix caprea*
Hawthorn *Crataegus monogyna*
Holly *Ilex aquifolium*
Midland Hawthorn *Crataegus laevigata*
Rowan *Sorbus aucuparia*
Silver Birch *Betula pendula*
Scots Pine *Pinus sylvestris*
White Poplar *Populus alba*
Wild Plum *Prunus domestica*
Wild Service Tree *Sorbus torminalis*
- o Smaller/shrub mainly Native Species to include:
Box *Buxus sempervirens*
Broom *Cytisus scoparius*
Buddleja *Buddleja davidii*
Dogwood *Comus sanguinea*
Dwarf Gorse *Ulex minor*
Elder *Sambucus nigra*
Garage *Ulex europaeus*
Goulder Rose *Viburnum opulus*
Hazel *Corylus avellana*
Spindle *Eurostymus europaeus*
Wayfaring Tree *Viburnum lantana*
- o Trees will be planted with irregular spacing and not in straight lines, and in informal clumps with lower, shrubby species on the outside.
- o Unless using plugs or containers, the trees will be planted in the five-month period November to March. Trees will be protected by guards from browsing by hares and ring-barking by voles.
- o The trees will be regularly weeded until they are established (up to five years post planting) and any dead trees will be replaced like for like within this period.

TWO: CREATING AREAS OF WILDLIFE GARDEN within the LODGE SITE

A: Flowers and low Flowering Shrubs

- o There will be areas of flowers and shrubs, some of which will be closely associated with the new trees.
- o The plants will mainly be native species, and will provide a seasonal range of flowering from April to September.
- o Species will be selected not only for their visual qualities but also their scents and their attractiveness to insects.
- o The Wildlife Garden areas will be designed and maintained with the specific aim of providing feeding and breeding habitat for bees and other endangered insects. This would be a good response to campaigns initiated by conservation bodies such as the Bumble Bee Conservation Society, Friends of the Earth, Wildlife Trusts and RSPB.
- o Increasing numbers of invertebrates will provide feeding opportunities for birds and bats.
- o The planting schemes will incorporate many of the following species, many of which are native wildflower species:
Aquilegia *Borboris* Bluebell *Buddleja* Campanula
Centaurea *Cononothus* Comfrey *Colonsaster* Eucalonia
Daisy family (including species of Aster, Chamomile, Chicory, Comflower, Feverfew, Fleabane, Goldenrod, Hawkweed, Black/Lesser Knapweed, Marigold, Mayweed, Ox-eye/Sheeps Daisy, Sunflower, Thistle)
Everlasting Wallflower *Flowering Currant* Forsythia *Geranium*
Heathers *Hebe* *Honeysuckle* *Ivy* *Jasmine*
Juniper *Lavender* *Lungwort* *Mahonia* *Rosemary*
- o Labiate family (including Bugle, Dead Nettle, Marjoram, Mints, Self-heal, Thyme, Woundwort)
Pea family (including Broom, Everlasting Pea, Bird's-foot Trefoil)
Scabious *Sedum*

B: Action for Invertebrates, Lizards, Small Mammals and Hedgehogs

- o These areas can be enhanced for a range of species by an imaginative creation of mini-habitats and the installation of manufactured items. The habitat piles and the manufactured items would provide homes for ants, bumble bees, centipedes, common wasps, earwigs, ground beetles, millipedes, snails, spiders and woodlice. The habitat piles may also be used by lizards, small mammals such as Wood Mouse and Common Shrew, and even in time by Hedgehog.
- o Interlinked Areas of Longer Grass provide a specific habitat for ground invertebrates and also create a hidden corridor in which mammals such as Weasel and Hedgehog can hunt unseen.
- o Habitat piles of sizeable logs and timbers which will slowly rot away varying-sized stones leaf-litter, including some garden waste.
- o Small boulders: A number will be fitted into the borders in a range of aspects. Some will have chambers underneath.
- o A number of companies manufacture a variety of Hedgehog "homes". As Badger predate Hedgehog it would be valuable to seek guidance from the Hedgling Preservation Society and from local naturalists.
- o Schwegler manufacture a wide range of specifically manufactured "homes" for Invertebrates and it would be valuable to install some of these. (The numbers given are the ordering code for products available from Jacobi Jayne & Co.). They will be in a sunny position, protected from wind and rain. They can be fixed to poles in the ground or hung from branches in the hedgerows.
- o Nesting Blocks for Solitary Insects:
Hardwood Insect Block 00370/E
Clay and Reed Insect Block 00377/S
Wood-concrete Insect Block 00 375/I

THREE: PROTECTING TREES, HEDGEROWS and SCRUB

- o All trees, hedgerows, banks and scrub along the boundaries of the development site (C/Northern, D/Eastern and F/Western) and the boundaries of the large field will be retained as valuable wildlife habitats and landscape features.
- o During site preparation, construction and landscaping they will be protected from machinery by erecting continuous barriers along the lines of trees, hedgerows and scrub.
- o These barriers will prohibit construction work between the barrier and the tree trunk. This protected length is commonly known as the Root Protection Area, and is calculated by multiplying the diameter of the tree at breast height in metres by 12, but is capped as an area with a radius of 15 metres (British Standard 5837: 2012).
- o Trees will be protected from direct impact and from severance or aphyllation of the roots.
- o If there are no large trees in particular boundaries, the barrier will be erected 10 feet/three metres from the headland or scrub.
- o Barriers will be left in place until all stages of the development are completed.
- o Any ivy on trees will be left unmanaged and dead and dying timber will be retained as a habitat, unless it presents a serious danger to residents of the lodges.
- o Future management of the site will maintain areas of un-mown and/or lightly-managed vegetation between the trees and extending out into grassy headlands at the base of the row of trees, hedgerows and scrub at least three feet/six metres wide.

FOUR: PROTECTING BREEDING BIRDS

- o There is potential nesting habitat for breeding birds within the trees, hedgerows and Bramble Scrub at the northern end of the site and also within the stone walls of the Toilet Block and other outbuildings.
- o The Wildlife and Countryside Act 1981 (as amended) protects all wild birds, their nests and their eggs. It is an offence intentionally to:
Kill, injure or take any wild bird
Take, damage or destroy the nest of any wild bird whilst it is in use or being built
Take, damage or destroy an egg of any wild bird
- o Therefore, any works to manage any of these trees and/or the scrub, or to work on the stone walls will take place outside of the breeding season, taken to be March to August, as Blackbirds in particular have extended their breeding season.

FIVE: PROTECTING BATS

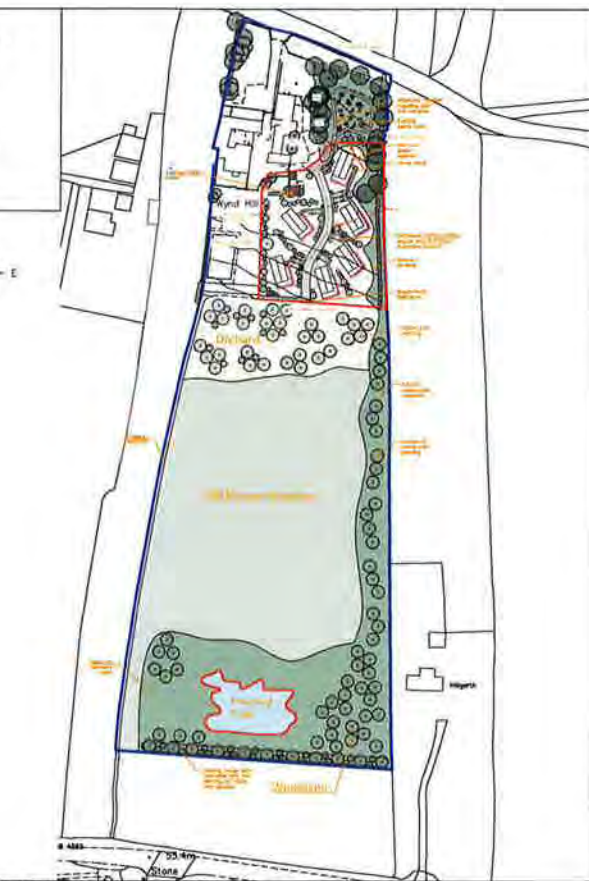
- o There are potential bat roosts within the range of crevices and holes in the stone walls.
- o To avoid any risk of disturbing roosting bats these crevices and holes will be left as they are, with no further pointing.
- o If necessary, e.g. for structural repair works, it may be necessary to employ a Bat Consultant to check whether any bats are present and to mitigate against any risk of injuring or killing a bat.

SIX: PROVIDING ADDITIONAL ROOSTS and NEST SITES in the WALLS

- o Within the stone walls are a number of crevices and holes that offer potential roost sites for small, crevice-dwelling bats (including Pipistrelle and Myotis species) and roost and nest sites for birds (including Blue Tit, Great Tit, House Sparrow and Redstart).
- o More narrow crevices and small holes may be opened up in these walls. In Appendix Two there are photographs of a range of suitable features that can easily be created.
- o Some can be deep crevices, while others can lead into chambers of varying sizes within the walls.

SEVEN: ERECTING BIRD BOXES

- o To increase the possibilities for nesting birds within the Lodge site, six nest boxes will be erected on the trees.
- o These will be manufactured from wood-crete. Possible selection would be:
2 x Schwegler Nest Box 2GR with single oval hole 30 x 45mm and protection against predators (intended for Blue, Coal, Great and Marsh Tits, House and Tree Sparrows, Nuthatch and Pied Flycatcher).



2 x Schwegler Nest Box 2HW for Pied Wagtail, Spotted Flycatcher and Robin (with nesting chamber secure against Jay and Magpie).
2 x Schwegler Nest Box 3SV, a predator-proof Starling Box.

- o This pond will be located towards the southern end of the field, utilising the slopes of the land.
- o It will not be too close to existing trees or on the south side close to any new small woodland, so that it is not shaded from the sun.
- o The design, construction and final landscaping should follow the detailed instructions given in Appendix Three: Creating a New Wildlife Pond (page 26 in accompanying Ecological & Biodiversity report).

EIGHT: ERECTING NEW BAT BOXES

- o A further range of new potential roost sites will be provided by erecting bat boxes on the large trees within the Lodge Site.
- o Six boxes will be erected. A possible selection would be:
1 x Schwegler Bat Box 2F General Purpose
1x Schwegler Bat Box 2F with double front panel
1 x Schwegler Bat Box 2 FN
1 x Schwegler Bat Box 1FD with triple front panel
1x Schwegler Bat Box 1FF with built-in wooden rear panel
1 x Schwegler Colony Bat Box 1FS

NINE: TRANSFORMING THE SOUTHERN PASTURE/HAYFIELD

Mr and Mrs Jones have described their plans to increase the range of habitats and wildlife in this field, which include creating a wildflower meadow, making a pond and planting a several blocks and other native landscape trees.

A: Wildflower Meadow

- o There is no need to introduce plants or seeds into the pasture. Our own experience of managing and monitoring former intensively-farmed pastures over a ten-year period makes us very confident that new species will arrive and flourish as the right conditions develop. One of these fields we managed went from no more than 15 species to 107 species of grasses and flowers in less than ten years.
- o The required transformation to a "wildflower meadow" can be achieved by cutting the grassland only once a year (ideally in mid- to late-August). This schedule allows plants to flower and seeds to set, and many insects and other ground invertebrates time to complete their life-cycle.
- o In the first years the field will be lightly-grazed by cattle during the autumn and winter. The cattle will lightly poach the land, which opens up the sward to allow seeds to germinate.
- o It will be locked up from any grazing from April 1st until the hay harvest in August.
- o In mid- to late-August it will be cut, turned several times and then baled. Removing the cuttings as baled hay or heilage will in time reduce soil fertility and create the conditions that make possible colonisation by a greater diversity of meadow species, many of which are inhibited by high levels of fertility.
- o For at least the first five years, there will be no applications of chemical fertiliser or organic manure. At the end of that period the botanical state of the field will be evaluated by a suitably-experienced ecologist.
- o Within the meadow there can be regularly mown pathways and perhaps also one or two larger areas created as "picnic" points to be enjoyed by visitors to Wyndhill Hideaway.

B: Existing Hedgerows with Wide Headlands

- o The existing hedgerows on the eastern and western sides will be retained and only occasionally managed, so that where possible there are wide, rank headlands.

C: Areas of Scrub

- o There is a large area of Bracken scrub along the southern side of the eastern side of the field and areas of Bramble, Willow and Nettle scrub along the southern boundary. Where possible these areas will be retained and possibly expanded.
- o Appendix One on pages 23-24 describes the huge value of scrub for wildlife and also how it will be managed.
- o At one point it will be widely linked to the pond, making a potential breeding site for birds such as Whistthroat, Mallard and Little Grebe, and a potential resting place (holt) for Otter.
- o When it becomes necessary to manage the scrub, it will be mown under a rotational plan, as described on page 24.

D: Blocks of Native Trees and Individual Landscape Trees

- o The species of trees and shrubs should be selected from the list on page 19, reflecting in the main the local ecology. To assist in choosing the species, it would be valuable to seek the advice of the County Botanical Recorder or the National Parks ecologist.
- o The block of new trees will be designed as a small woodland in the south-western corner, or as a long shelter-belt down the eastern side.
- o It will be designed with the larger species surrounded by small trees at the edges, especially those that do not flourish in shady conditions.

E: New Hedgerow

- o It would be possible to renovate the southern boundary by planting a hedgerow of native species on the existing new bank and possibly replanting the existing sections on the eastern and western ends.
- o Appendix Four (pages 27-28) details the design, planting and management of Hedgerows.

F: Field Pond

- o Before embarking on this project it is important to check that:
a) There is a depth of clay on the site that can be used to line and waterproof the pond;
b) That there is a suitable source of water.

On A - 18.01.21
Action plan attached
Read the Summary and attached
Read the Summary and attached
Read the Summary and attached

Wynd Hill Hideaway,
Wynd Hill,
Mansfield,
Notby,
S470 7SL

Wend Hill Hideaway
Wynd Hill,
Mansfield,
Notby,
S470 7SL

Final Landscaping and
Conservation Plan

18.01.21

18.01.21

18.01.21

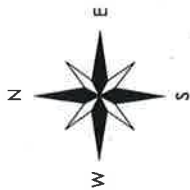
Drawing Key



Proposed tree planting

Proposed shrub planting

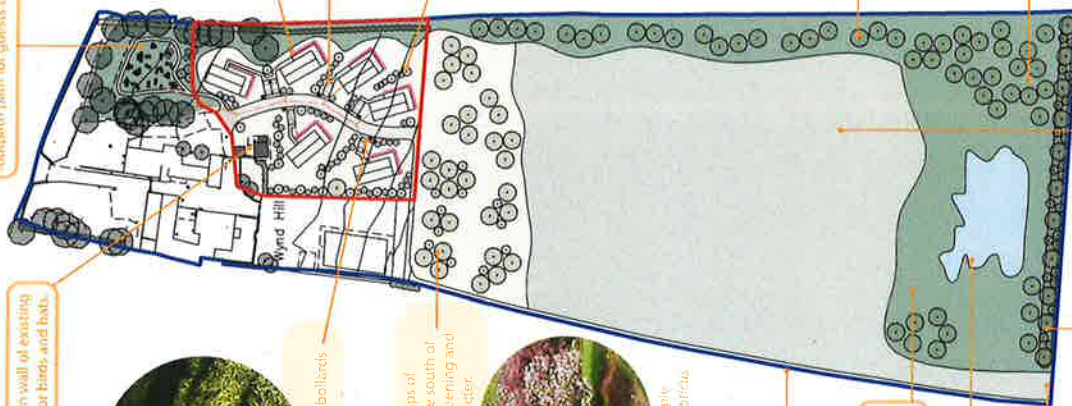
Existing tree planting



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Suggested Schedule of Planting

Larger Trees	
Common Name	Latin Name
Aspen	<i>Populus tremula</i>
Holly	<i>Ilex aquifolium</i>
Blackthorn	<i>Prunus spinosa</i>
Midland Hawthorn	<i>Crataegus laevigata</i>
Common Alder	<i>Alnus glutinosa</i>
Rowan	<i>Sorbus aucuparia</i>
Crab Apple	<i>Malus sylvestris</i>
Silver Birch	<i>Betula pendula</i>
Downy Birch	<i>Betula pubescens</i>
Scots Pine	<i>Pinus sylvestris</i>
Field Maple	<i>Acer campestre</i>
White Poplar	<i>Populus alba</i>
Grey Willow	<i>Salix cinerea</i>
Wild Plum	<i>Prunus domestica</i>
Goat Willow	<i>Salix caprea</i>
Wild Service Tree	<i>Sorbus torminalis</i>
Hawthorn	<i>Crataegus monogyna</i>
Small Trees/Shrubs	
Common Name	Latin Name
Box	<i>Buxus sempervirens</i>
Gorse	<i>Ulex europaeus</i>
Broom	<i>Cytisus scoparius</i>
Gaulther Rose	<i>Viburnum opulus</i>
Buddleja	<i>Buddleja davidii</i>
Hazel	<i>Corylus avellana</i>
Dogwood	<i>Cornus sanguinea</i>
Spindle	<i>Euronymus europaeus</i>
Dwarf Gorse	<i>Ulex minor</i>
Wayfaring Tree	<i>Viburnum lantana</i>
Elder	<i>Sambucus nigra</i>
Flowers & Low Flowering Shrubs (Wildlife Gardens)	
Common Name	Latin Name
Aquilegia	Campanula
Bluebell	Centaurea
Berberis	Buddleja
Cornflower	Cotoneaster
Escallonia	
Flowering Currant	Forsythia
Heathers	Hebe
Ivy	Jasmine
Lavender	Lungwort
Rosemary	
Sedum	
Daisy family (including species of Aster, Chamomile, Chicory, Cornflower, Feverfew, Fleabane, Goldenrod, Hawkweed, Black/Lesser Knapweed, Margold, Mayweed, Ox-eye/Shasta Daisy, Sunflower, Thistle)	
Flowering Currant	Forsythia
Geranium	Hebe
Honeysuckle	Jasmine
Juniper	Lungwort
Mahonia	Rosemary
Labiate family (including Bugle, Dead Nettle, Marjoram, Mints, Self-heal, Thyme, Woundwort)	
Pea family (including Boorn, Everlasting Pea, Bird's-foot Trefoil)	
Scabious	Sedum



Widgeon meadow with mown footpath path for guests to enjoy.

Creeves within northern wall of existing toilet block enhanced for birds and bats.

Proposed low level lighting bollards

Proposed orchard & clumps of native tree planting to the south of the lodges to provide screening and enhance landscape character.

Scrubs to surround the proposed pond providing potential breeding ground for birds.

Proposed Wildlife Pond

Existing field access from B4585

Existing bank reinstated with the planting of native tree species.

Proposed wildflower meadow



Flower beds to surround lodge decking's. Potentially these areas could also be small wildflower meadows which would require less management than planted beds.



Permeable paving car parking spaces and roadways with gravel inll. Car parking spaces to have infiltration chambers beneath for water run off from lodges.



Buddleja davidii

Native small trees and shrub planting to provide privacy and improve landscape character.



Buxus sempervirens

Native tree planting across eastern boundary. Trees to be planted in formal clumps to retain historic existing field boundaries.



Aspen
Populus tremula

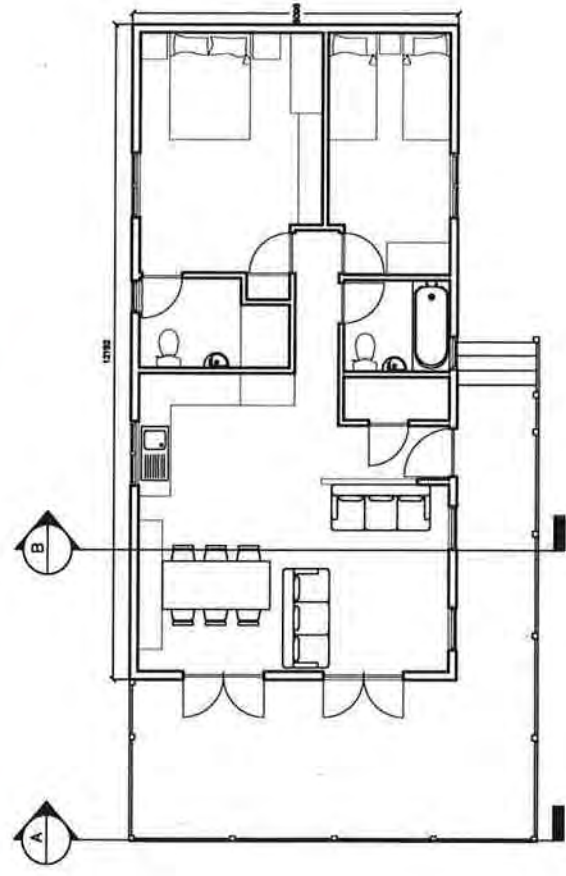
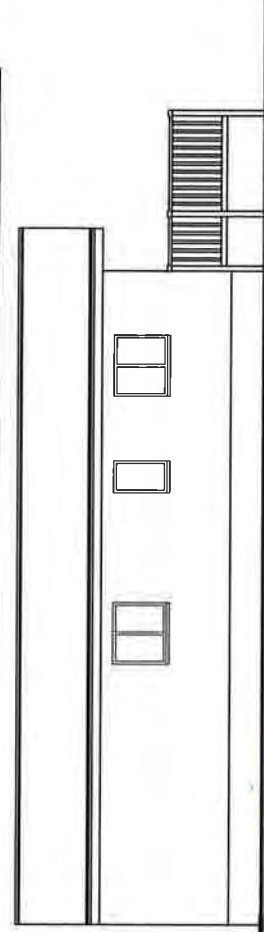
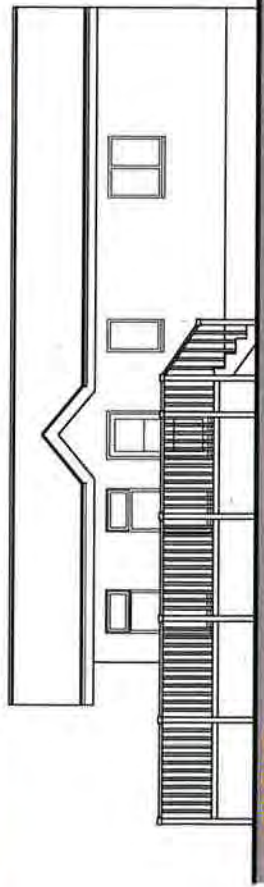
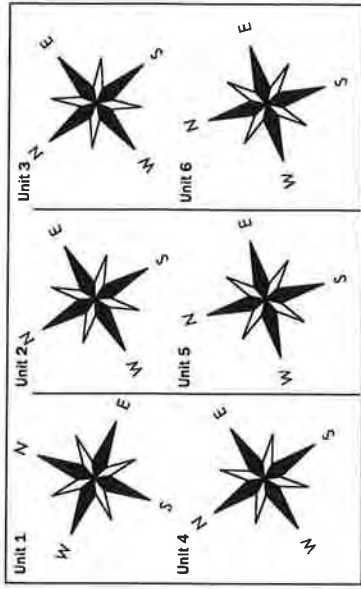
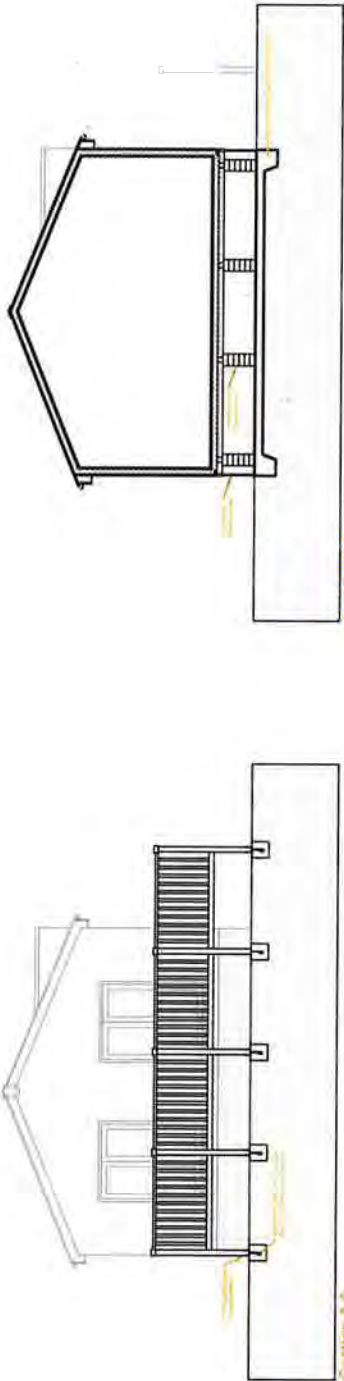


Downy Birch
Betula pubescens

Brocken scrub to be retained and managed in accordance with the recommendations made in the accompanying Ecological and Biodiversity Report.



Drawing: 05 Proposed Landscaping Strategy
Project: Wynd Hill Hideaway, Manorbier, Tenby, SA70 7SL
Client: Mr and Mrs Jones
Date: 12/2020



Materials
See drawing 101 - Proposed Materials and Finishes Palette

Rev A - 18.01.21 Rev B - 08.02.21
Annotation amended. North points added.

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<p>Mr R Jones Wynd Hill Hideaway, Wynd Hill, Manorbier, Tenby, SA70 7SL</p>	
DATE	18/01/21
SCALE	1/100
DESIGNED BY	DR
CHECKED BY	DR
DATE	01/2021



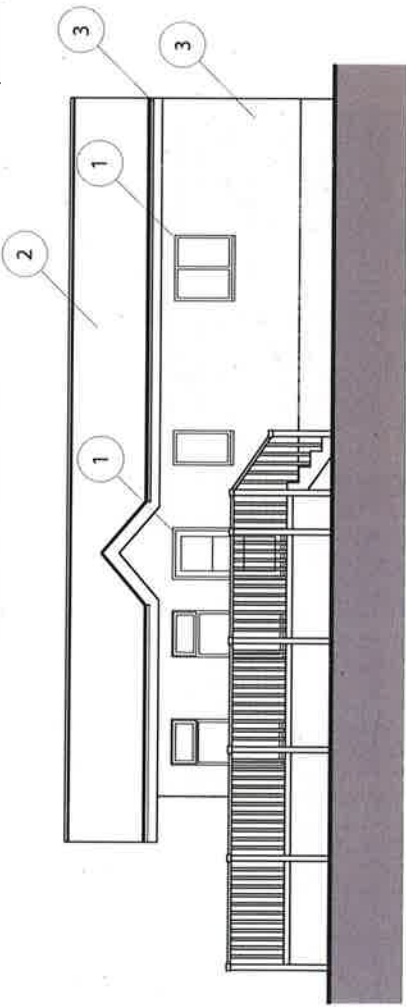
Tel: 01994 246 166
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Address: 12, St John Street, Wrexham, LL13 3BA



PROPOSED MATERIALS AND FINISHES PALETTE

Wynd Hill Hideaway, Manorbie

All materials and finishes subject to lodge manufacturer specification, LPA to advise on their preferences.



SIDE ELEVATION OF TYPICAL LODGE.

1. FENESTRATION & EXTERNAL DOOR FINISH OPTIONS

Timber effect UPVC



Anthracite Grey



White



*Rainwater goods to match window and door finish.

2. ROOF FINISH OPTIONS FOR LODGES

Britmet lightweight metal roofing sheets - Charcoal (or equivalent).



britmet.co.uk/

3. CLADDING OPTIONS FOR LODGES

Timber



Thermawood®



Cedar



Composite Timber Effect Cladding



CanExcel Acacia Cladding

Acacia | Nature



CanExcel Sandalwood Cladding

Sandalwood | Nature



CanExcel Sierra Cladding

Sierra | Nature

Pathfinder Homes 'The Retreat'
pathfinderhomes.co.uk/homes/the-retreat

GERALD BLAIN ASSOCIATES LTD
ARCHITECTURAL & PLANNING CONSULTANTS

Drawing: 101 Proposed Materials and Finishes Palette	Client: Mr and Mrs Jones	Date: 01/2021	Drawn by: D.B.
Project: Wynd Hill Hideaway, Manorbie, Tenby, SA70 7SL	Scale: N/A		Char-Var hvr G R