

Application Ref: NP/22/0388/FUL

Case Officer Sara Thomas
Applicant Mr D Thompstone
Agent Mr J Mansel-Thomas, Pembroke Design Ltd
Proposal Replacement dwelling
Site Location Kenmore, Pen y Craig, The Glen, Saundersfoot,
Pembrokeshire, SA69 9NR
Grid Ref SN13760443
Date Valid 24-Jun-2022 **Target Date** 20-Oct-2022

This application is being brought back to the Development Management Committee following a Member site visit on the 16th November 2022.

Consultee Response

Saundersfoot Community Council: Councillors considered all the information provided by the Planning Authority, Saundersfoot Community Council consider that the proposed dwelling is overpowering to the neighbouring properties, limiting their access to natural light and intruding on their privacy. The proposed dwelling is not within keeping of the surrounding properties. The Council consider that a more informed response would have been forthcoming if a site visit could have been held and their questions answered. I have been requested to advise the Planning Authority of the Council's disappointment that a site visit could not be facilitated'.

Dwr Cymru Welsh Water: Conditional Consent - and Informatives advised

Natural Resources Wales: Conditional Consent

PCC - Transportation & Environment: Conditional Consent

PCNPA Planning Ecologist: Conditional Consent

PCNPA Tree and Landscape Officer: Conditional Consent

Coal Authority: Standard Advice

PCC - Drainage Engineers: Observations - Informative - SAB Approval

PCNPA Tree and Landscape Officer: Further information required

Public Response

A site notice and neighbour notification letters were posted in accordance with requirements of the Town and County Planning (Development Management Procedure) (Wales) Order 2012. One letter of objection has been received, their comments are summarised below:

- Proposal does not respect the scale and character of neighbouring properties
- Detracts from the appearance and visual amenities of the locality
- Balcony and windows will have an unacceptable impact on neighbouring properties
- Overdevelopment of site
- Road is too narrow for any more vehicles
- Increased blockage of sewers and water pressure problems
- A structural survey needs to be conducted on the cliff
- Proposal would break covenant in terms of noise and disturbance

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Policies considered

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website –

[Local Development Plan 2 - Pembrokeshire Coast National Park](#)

LDP2 Policy 01 - National Park Purposes and Duty

LDP2 Policy 04 - Saundersfoot Local Centre

LDP2 Policy 08 - Special Qualities

LDP2 Policy 09 - Light Pollution

LDP2 Policy 10 - Sites and Species of European Importance

LDP2 Policy 11 - Nationally Protected Sites and Species

LDP2 Policy 12 - Local Areas of Nature Conservation/Sites of Geological Interest

LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park

LDP2 Policy 29 - Sustainable Design

LDP2 Policy 30 - Amenity

LDP2 Policy 32 - Surface Water Drainage

LDP2 Policy 34 - Flooding and Coastal Inundation

LDP2 Policy 46 - Housing

LDP2 Policy 48 - Affordable Housing

LDP2 Policy 59 - Sustainable Transport

LDP2 Policy 60 - Impacts of Traffic

PPW11

SPG01 - Affordable Housing

SPG12 - Biodiversity

SPG16 - Sustainable Design & Development

TAN 05 - Nature Conservation and Planning

TAN 12 - Design

Constraints

Special Area of Conservation - within 500m

Special Protection Area - within 500m

Site of Special Scientific Interest - within 50m

Biodiversity Issue

Ancient Monument - within 500m

Regionally Important Geological Sites

Recreation Character Areas

Low Coal Risk

Surface Coal

Affordable Housing Submarkets

Seascape Character Areas

Within Site of Special Scientific Interest consult NRW / Planning Ecologist_20m

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Landscape Character Area
Special Area of Conservation - within 50m

Officer's Appraisal

Site and Context

The application site is situated at Kenmore, Pen Y Craig, The Glen, within the local centre of Saundersfoot. The site relates to a single storey, detached, pitched roof dwelling, which is situated within a fairly spacious plot. There is an existing external swimming pool to the east of the dwelling. Access to the site is gained from the northwest, with existing dwellings adjoining the north, south and west. The site is situated in close proximity to the cliff face to the east, overlooking the beach. There is also a change in levels towards the east of the site.

Relevant History

None relevant.

Current Proposal

Planning permission is sought for the demolition of the existing dwelling and its replacement with a flat roof dwelling, which is two storeys in height increasing to three storeys towards the east. The proposed dwelling provides a living/dining/kitchen, lounge, office, WC, utility and garage at ground floor level and 4 bedrooms, 3 en-suite bathrooms and a bathroom at first floor level. The basement level provides a cinema room, store, plant room, bar, guest bedroom with en-suite bathroom and a fitness suite with a sauna and WC. The proposed dwelling fronts towards the west of the site. A large balcony area is proposed at first floor level to the east and south elevation, providing a covered space at ground floor level. Proposed materials are render, concrete, charred timber and natural stone with grey powder-coated aluminium windows and doors. Solar panels and a rooflight are proposed on the flat roof of the dwelling. Access to the site remains from the northeast of the site. A driveway and parking area are proposed to the north and east of the dwelling. A stepped access is provided to the east of the site which consists of a large garden area and an external swimming pool.

There is an existing detached pool house, adjacent to the swimming pool which is also proposed to be replaced. The retaining walls are proposed to be retained. The pool house will provide a pool plant room, shower, WC and pool room. A flat green roof is proposed, with charred timber cladding and grey powder coated aluminium sliding doors.

Key Issues

The primary issues in the considerations of this application are:

- Policy & Principle of New Dwelling
- Impact on the Character of the Surrounding Area
- Residential Amenity
- Highway Safety

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- Biodiversity
- Affordable Housing

Policy & Principle of New dwelling

Future Wales – The National Plan 2040 (FW which was adopted on 24th February 2021 and is the National Development Framework for Wales – is the national tier of the Development Plan.

Policy 4 Supporting Rural Communities states that Strategic and Local Development Plans must identify their rural communities, assess their needs and set out policies to support them. On page 104, Future Wales states that: “National Park Authorities are unique planning entities with a specific remit to reflect the distinctive characteristics of their areas...” and that “Future Wales policies respect the functions of National Parks in terms of their statutory purposes...”

The site is situated within the centre boundary of Saundersfoot, as defined by the Local Development Plan (LDP2) and includes the replacement of an existing dwelling, as a result of which, the principle of residential development is considered acceptable.

Impact on the Character of the Surrounding Area

The application site is bound by dwellings and the surrounding area is residential in terms of its character. The existing dwelling is single storey providing first floor accommodation through gable projections and a dormer to the south elevation. The proposed dwelling is two storeys in height, increasing to three storeys to the east. Concerns have been expressed by the neighbouring dwelling and the Saundersfoot Community Council that the proposal is overdevelopment, does not respect the scale and character of the neighbouring properties and detracts from the appearance and visual amenities of the locality. The scale of the proposed dwelling is notably larger than the existing dwelling, however large, detached dwellings are characteristic of the surrounding area, including the neighbouring dwelling ‘Avalon’ and the proposed dwelling will not appear significantly high. The three-storey element of the proposal is also situated to the east of the site overlooking the beach and therefore is screened from the front of the site.

The proposed dwelling is situated within a fairly substantial plot served by a large area of amenity space, the proposal is therefore not considered overdevelopment of the application site. The dwelling proposes a contemporary design, which is significantly different to the traditional hipped roof design of the existing dwelling. It is also noted that the proposed contemporary design differs to the surrounding dwellings. However, the surrounding dwellings vary in terms of their scales and designs and there is not a consistent or uniform design of the dwellings so no concerns are raised to the design of the proposed dwelling; the proposed design merely adds to the existing mix of styles. The proposed flat roof design, large amount of glazing and use of materials provides an interesting contemporary design. The dwelling is proposed to front the west of the site, which is the same orientation as the existing dwelling and it is recognised that there isn’t a consistent building line within street. The proposed dwelling is also set back from the front of the site and therefore its siting and established vegetation within the area, reduces the visibility of the dwelling within the streetscene. As a result, the proposed development is

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considered acceptable in terms of its scale, design, siting and materials and will not have a detrimental impact on the character or visual amenities of the surrounding area.

The existing pool house is proposed to be replaced, although is in the same location and is of a similar scale to the existing. The existing pitched roof is to be replaced with a flat green roof and this along with the use of timber cladding and use of glazing provides a contemporary appearance to the pool house which reflects the design and materials of the proposed dwelling.

Residential Amenity

The application site is surrounded by dwellings and the dwellings most likely to be affected by the proposed development are to the west and south of the site. All the neighbouring dwellings are set off the shared boundaries, in addition to the proposed dwelling being set in from the boundaries. Thus, even though the proposed dwelling is relatively large in scale, taking into account its siting within a large plot and its orientation, it is not considered to have an overbearing or overshadowing impact on any of the neighbouring dwellings. The proposed windows to the west elevation of the dwelling will have views towards the neighbouring dwelling 'Avalon'.

There is an existing portal window at first floor level within the side elevation of the neighbouring dwelling and a balcony to the rear elevation; however, it is not considered that their privacy will be detrimentally affected. The existing dwelling currently has views at first floor level towards the dwellings to the south and it is recognised that the application proposes increased glazing and balconies to the south elevation. Nonetheless, the dwellings to the south of the site are situated at a significantly lower level and therefore views to the south are of the roofs of these dwellings, with views also being partially screened by vegetation.

Concerns have been expressed by the neighbouring property in relation to overlooking. The proposed three storey element of the proposed development, which consists of a large amount of glazing and large balcony areas will predominantly have views towards the beach and some views to the south. However, as addressed above, it is not considered that there will be significant overlooking from the proposed development.

Further concerns expressed by the neighbouring property relate to the requirements within a covenant and the impact on water pressure. However, these are not material planning considerations and therefore are not considered as part of this application.

Highway safety

The proposed dwelling will utilise the current access off a narrow private track, which has adequate visibility. There is a large driveway within the application site, which provides sufficient car parking to serve the proposed dwelling and also provides users adequate space to turn within the site and leave in a forward gear. The Highway Authority have confirmed they have no objection to the proposal on highway grounds and it is noted that the proposal does not involve an increase in the number of dwellings within the site.

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Biodiversity

On the basis of the information provided by I&G it is considered that an EPS license is not required in this instance and there is a reasonable likelihood that bats will not be affected by the development. However, an informative is included to ensure that any bats are protected if encountered during works.

Due to the location of the proposed development site and the likely use of the area by nocturnal wildlife, it is important any external lighting is kept to a minimum. The use of external lighting is therefore controlled by condition.

As the site is adjacent to a waterway and a significant amount of earthworks are proposed, it is essential that run-off from site is prevented. A condition is therefore imposed to ensure the environment is protected during construction works.

The application site is adjacent to the Carmarthen Bay and Estuaries Special Area of Conservation (SAC). As a competent authority under Regulation 63 of the Conservation of Habitats and Species Regulations 2017 the Authority has to consider the impact of development on the features for which the aforementioned sites are designated. A Test of Likely Significant Effect (TLSE) has been done which concludes there is not likely to be a significant effect on the SAC.

Affordable Housing

The proposal results in the replacement of an existing dwelling and therefore affordable housing is not required in this instance.

Conclusion

The proposed development is considered acceptable in terms of the principle of the proposed new dwelling and will not have a detrimental impact on the character of the surrounding area or the residential amenity of any neighbouring properties in accordance with the policies of the Local Development Plan.

In reaching a recommendation, regard has been given to the requirements of sections 3 and 5 of the Well Being of Future Generations (Wales) Act 2015. It is considered that this recommendation is in accordance with the Act's sustainable development principle through its contribution towards the Welsh Ministers' well-being objective of supporting safe, cohesive and resilient communities.

Recommendation

APPROVE, subject to the following conditions:

1. The development shall begin not later than five years from the date of this decision.
Reason: Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
2. The development shall be carried out in accordance with the following approved plans and documents:

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Drawing No.LP01 'Location Plan' dated MAR 22
Drawing No.101 D 'Site Plan' dated MAR 22
Drawing No.01 D 'Lower Ground Floor Plan' dated MAR 22
Drawing No.02 D 'Ground Floor Plan' dated MAR 22
Drawing No.03 D 'First Floor Plan' dated MAR 22
Drawing No.04 C 'Roof Plan' dated MAR 22
Drawing No.05 D 'East Elevation' dated MAR 22
Drawing No.06 D 'North Elevation' dated MAR 22
Drawing No.07 D 'South Elevation' dated MAR 22
Drawing No.08 D 'West Elevation' dated MAR 22
Drawing No.09 'Proposed Replacement Pool House' dated AUG 22
Drawing No.P02 A 'Proposed Site Plan and Tree Protection Plan at Ground Floor and Lower Ground Floor Levels' dated May 22
Drawing No.P01 A 'Proposed Site / Roof Plan' dated May 22
Drawing No.3d01 '3d Views 01' dated JUN 22
Drawing No.3d02 '3d Views 02' dated JUN 22
Drawing No.3d03 '3d Views 03' dated JUN 22
Drawing No.3d04 '3d Views 04' dated JUN 22
Drawing No.3d05 '3d Views 05' dated JUN 22
Drawing No.3d06 '3d Views 06' dated JUN 22
Drawing No.3d07 '3d Views 07' dated JUN 22
Design and Access Statement
I&G Ecological Consulting 'Bat Survey Report'
Tree report by Tree Solutions received 15th August 2022
Drawing No.9323 P02 A 'Tree Plan' received 15th August 2022
Drawing No.21389-RSC-01-XX-DR-C-100 Rev.A 'Drawing Site Plan' dated 03/05/22
Drawing No.21389/50 P1 'Basement Excavation Plan' dated 17/06/22

Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

3. The proposed development shall be completed in full adherence to the arboricultural details submitted to this authority as amended & received on 15-08-2022: Drawing: 9323 P02 A, Tree plan – Proposed Development Kenmore, Saundersfoot and BS 5837 tree report for: Kenmore, Pen Y Graig, Saundersfoot. Any variations to the details of the documents and plans must only be undertaken after the proposed variations have been agreed in writing by the LPA. Upon completion of the development this authority will be provided with clear and obvious written proof that the details of the Arboricultural Method Statement have been adhered to, including where relevant photographic evidence.

Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Local Development Plan 2 – Policies: 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation and

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enhancement of the Pembrokeshire Coast National Park), 30 (Amenity), SPG 12 – Biodiversity, Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997)

4. The parking and turning facilities shown on the plan hereby approved shall be provided before the dwelling is first occupied, and thereafter retained for that purpose.

Reason: To ensure the satisfactory provision of parking facilities and in the interest of highway safety and the amenity of the area. Policy: Local Development Plan - Policy 53 - Impacts on Traffic.

5. No development shall commence, including any works of demolition, until a Construction Environmental Management Plan (CEMP) has been submitted to, and approved in writing by the local planning authority. The approved statement shall be adhered to throughout the construction period. The statement shall provide for:

- Construction methods: details of materials, how waste generated will be managed.
- General Site Management: details of the construction programme including timetable, details of site clearance; details of site construction drainage, containments areas, appropriately sized buffer zones between storage areas (of spoil, oils, fuels, concrete mixing and washing areas) and any watercourse or surface drain.
- Resource Management: details of fuel and chemical storage and containment; details of waste generation and its management; details of water consumption, wastewater and energy use.
- Pollution Prevention: demonstrate how relevant Guidelines for Pollution Prevention and best practice will be implemented, including details of emergency spill procedures and incident response plan.
- Details of the persons and bodies responsible for activities associated with the CEMP and emergency contact details.

Reason: To protect the environment during construction works. Policy: Local Development Plan – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).

6. No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment. Policy: Local Development Plan 2 – Policy 29 (Sustainable Design) and Policy 32 (Surface Water Drainage).

7. The proposed development site is crossed by a public sewer with the approximate position being marked on the attached Statutory Public Sewer Record. The position shall be accurately located, marked out on site before works commence and no operational development shall be carried out within 3 metres either side of the centreline of the public sewer.

Reason: To protect the integrity of the public sewer and avoid damage

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thereto protect the health and safety of existing residents and ensure no pollution of or detriment to the environment

8. No development shall take place until a biodiversity enhancement scheme has been submitted to and approved in writing by the local planning authority, which shall include at least four features for biodiversity. The biodiversity enhancement scheme shall be installed prior to the first occupation of the dwelling and retained on site thereafter.

Reason: In the interests of biodiversity. Policy: Local Development Plan 2 – Policy 12 (Local Areas of Nature Conservation or Sites Geological Interest).

9. No lighting or any other external means of illumination of the site shall be provided, or installed except in accordance with a detailed scheme, which shall be agreed in writing by the local planning authority. The scheme shall be implemented in accordance with the approved details and retained as such thereafter.

Reason: In the interests of biodiversity. Policy: Local Development Plan – Policies 8 (Special Qualities), 9 (Light Pollution) and 11 (Nationally Protected Sites and Species)

Informatives

The applicant should be aware that the proposed works will require SAB (Sustainable Drainage Systems Approving Body) approval. Approval should be sought from:

SAB
Community Services Directorate
Infrastructure Division
Pembrokeshire County Council
County Hall
Haverfordwest
Pembrokeshire
SA61 1TP
Email: sab@pembrokeshire.gov.uk
Telephone: 01437 776142

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may

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not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

The planning permission hereby granted does not extend any rights to carry out any works to the public sewerage or water supply systems without first having obtained the necessary permissions required by the Water Industries Act 1991. Any alterations to existing premises resulting in the creation of additional premises or merging of existing premises must also be constructed so that each is separately connected to the Company's water main and can be separately metered. Please contact our new connections team on 0800 917 2652 for further information on water & sewerage connections.

All British bat species are European Protected Species by virtue of their listing under Annex IV of EC Directive 92/43/EEC ('The Habitats Directive'). This Directive has been transposed into British Law under the Conservation of Habitats and Species Regulations 2017. British bats are also protected under Schedule 5 of the Wildlife and Countryside Act (1981) (as amended). It is recommended that the applicant and contractors be informed of the possibility of encountering bats unexpectedly during works. If bats are encountered on site works should stop immediately and NRW should be contacted (Natural Resources Wales, - General Enquiries: enquiries@naturalresourceswales.gov.uk or 0300 065 3000 Mon-Fri, 8am - 6pm) a licence may then need to be applied for from NRW. Licences are not automatically granted by virtue of a valid planning consent and it may be possible that the necessary licence application may be refused.

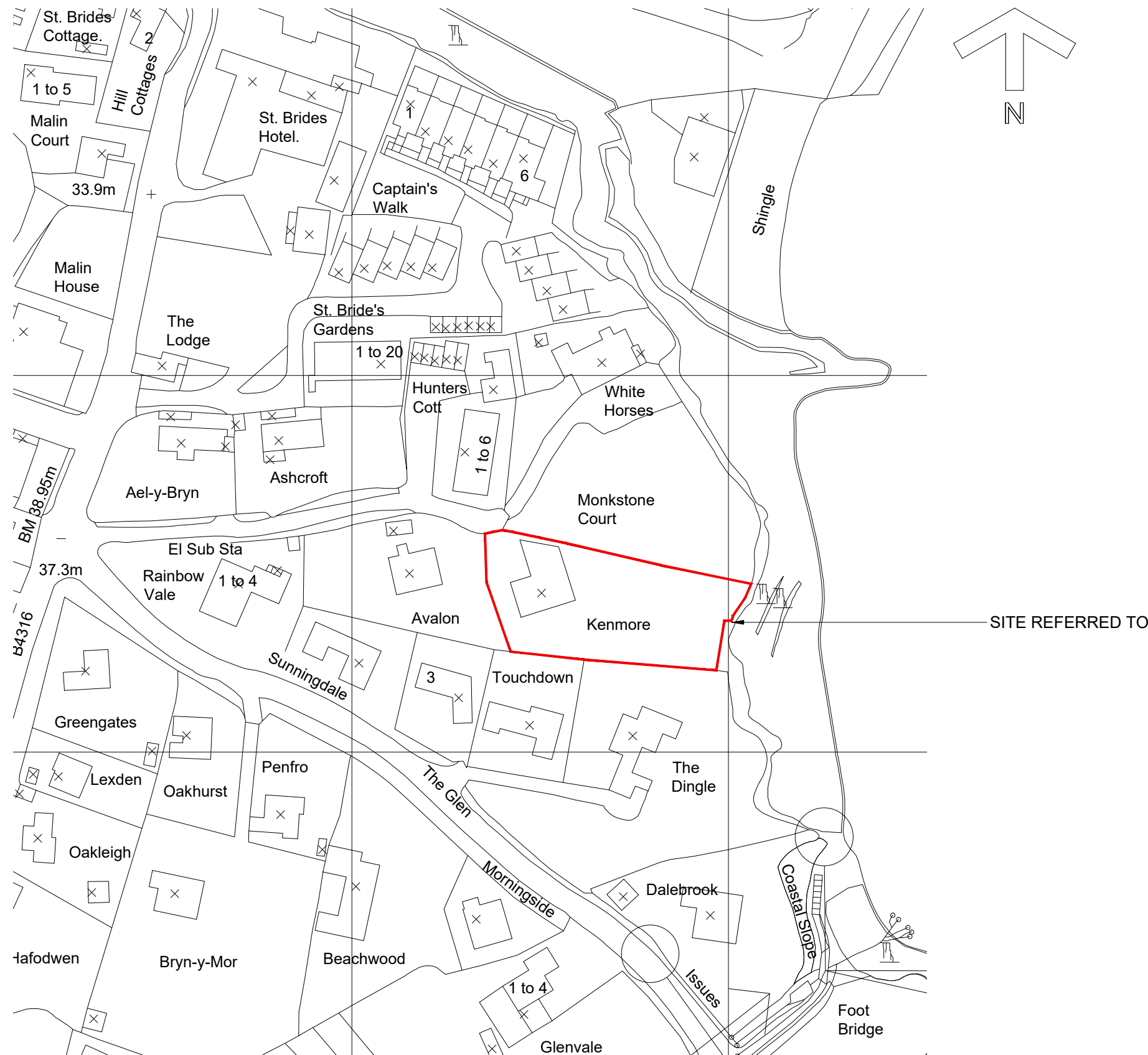
These drawings and the copyright thereof are the sole property of the consultants and must not be reproduced without their written consent.

The contractor is to check all levels and dimensions before work commences, and any discrepancies to be reported immediately to the consultants.

The contractor is expected to supply and do everything necessary for the proper execution of the works that may be reasonably inferred from the drawings and specification, whether referred to in detail or not, without extra payment in respect thereof.

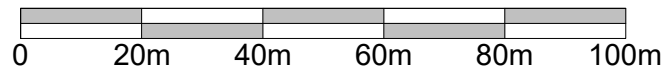
The finished building will require service maintenance in accordance with custom and practice and the manufacturers recommendations.

The architects drawings are to be read in conjunction with the engineers and all specialist manufacturers / suppliers drawings.



Location Plan 1:1250

Scale in metres



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Drwg
Location Plan

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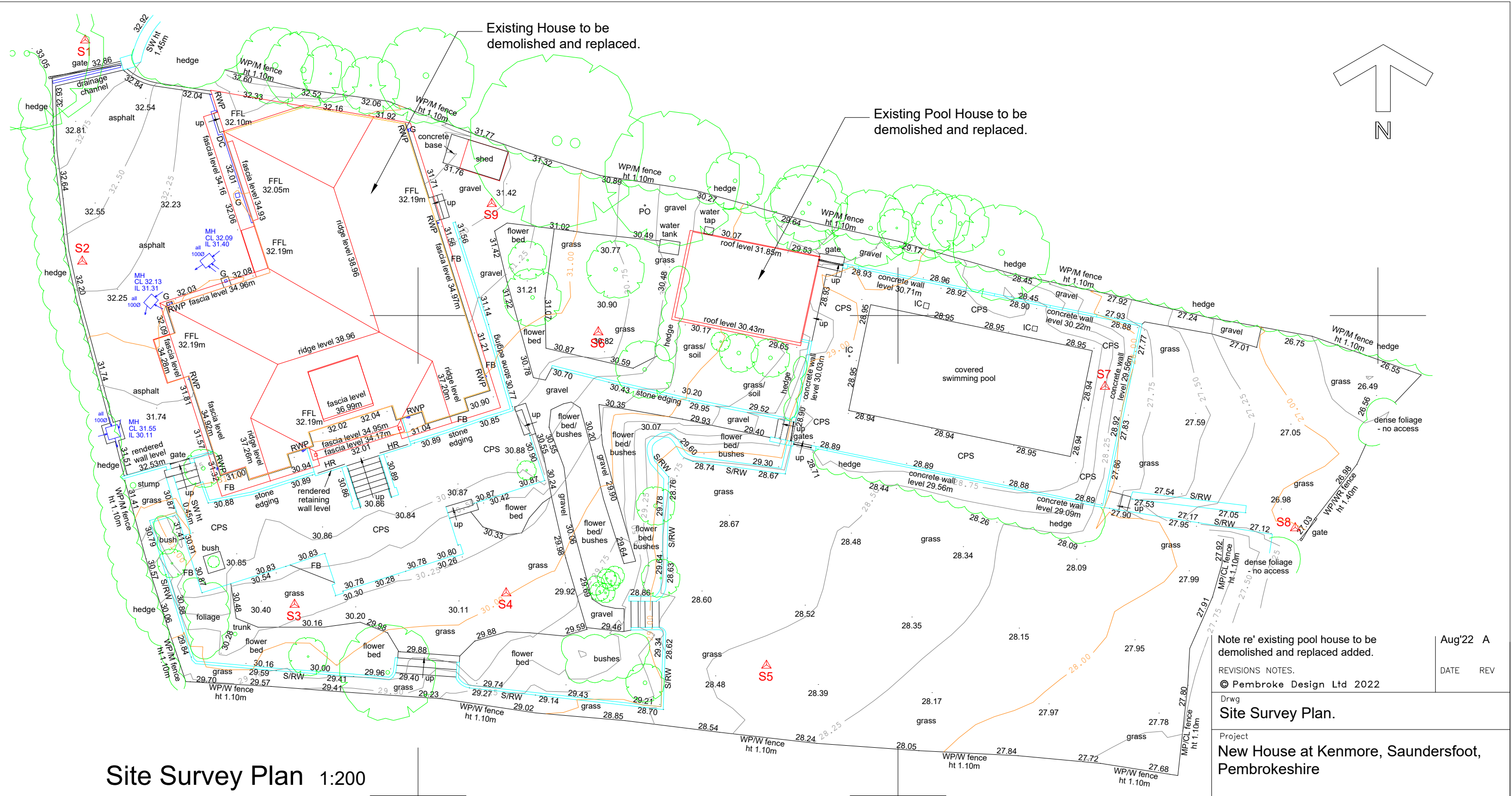
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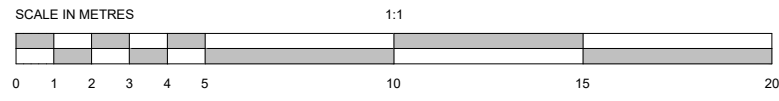
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Site Survey Plan 1:200



Note re' existing pool house to be demolished and replaced added. Aug'22 A
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Site Survey Plan.
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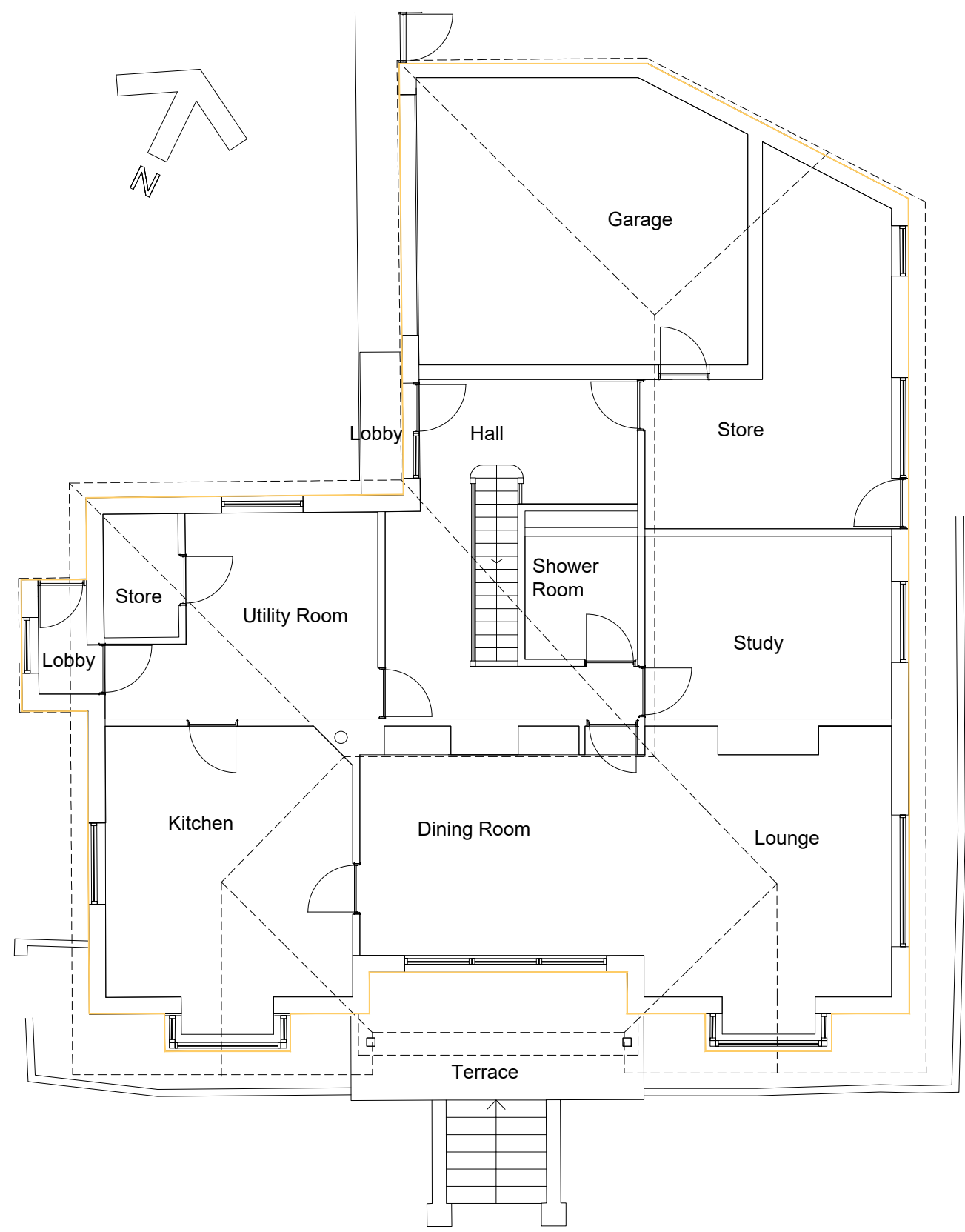
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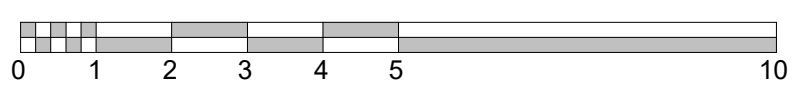
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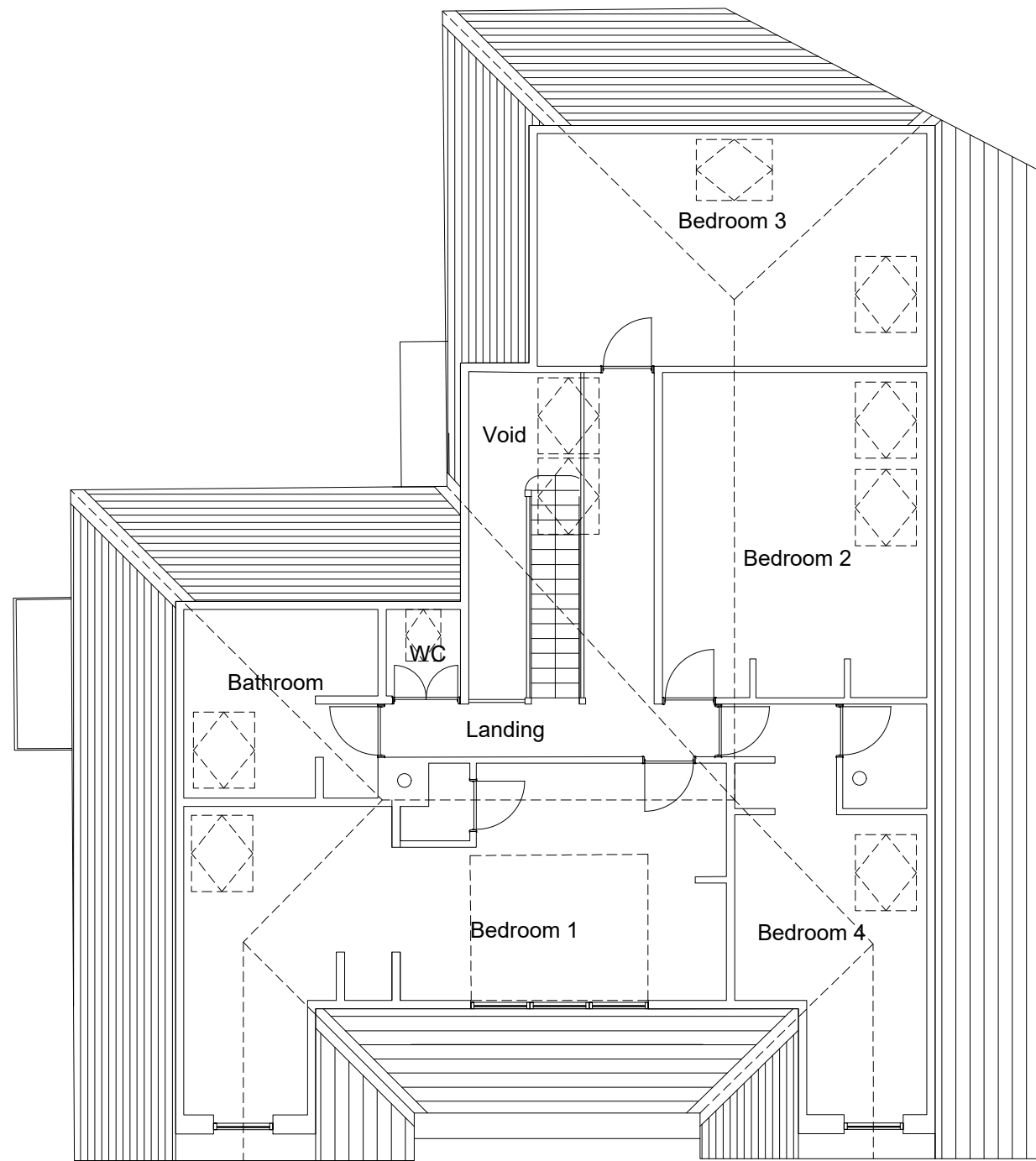
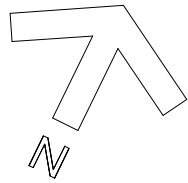


Existing Ground Floor Plan 1:100

SCALE IN METRES



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Existing First Floor Plan 1:100

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Existing First Floor Plan.

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CHARTERED ARCHITECTS BUILDING SURVEYORS QUANTITY SURVEYORS CDM CO-ORDINATORS

Designed JMT	Scale 1:100	Original Size A3	Job No 9323
Drawn SCD	Date Mar '22	Checked by JMT	Drwg No Rev E03 .



Existing South Elevation 1:100

EXISTING FINISHES SCHEDULE.

Walls.....	Painted render.
Roof.....	Natural slate.
Windows.....	White/brown upvc.
Doors.....	White upvc / painted timber.
Boundaries.....	Hedges / timber fences.
Vehicle access and hardstanding.....	Tarmac drive, paving slabs to terraces, patios, gravel paths.
Lighting.....	White metal floodlights.
Fascias and soffits....	White upvc.
Rainwater goods.....	White upvc.



Existing East Elevation 1:100

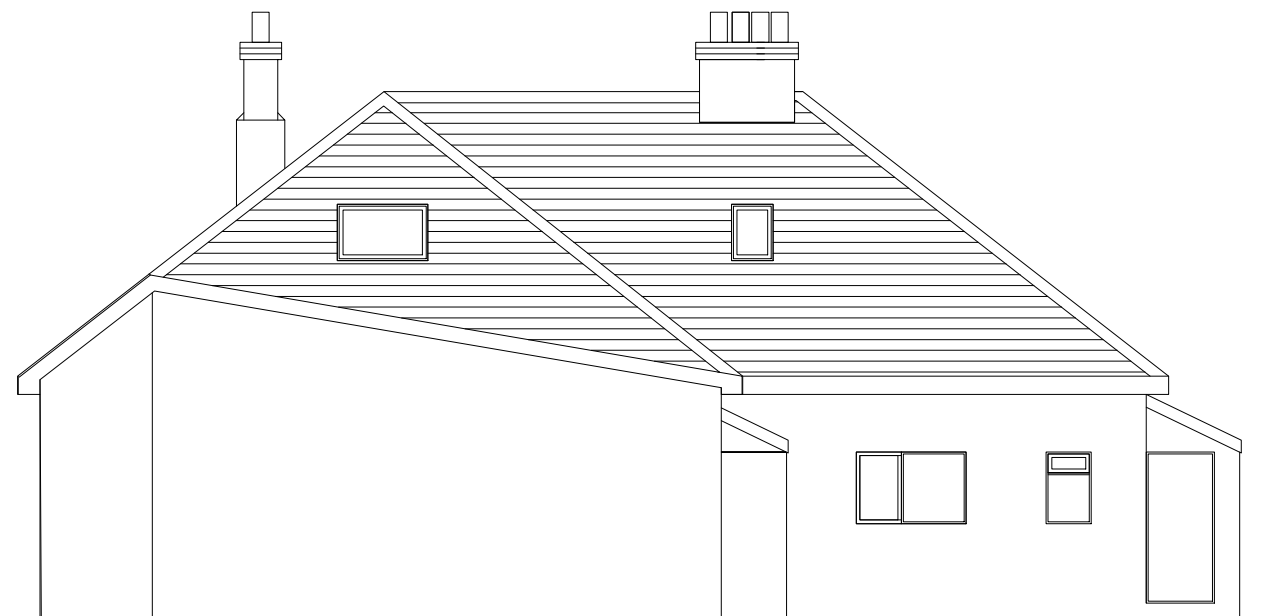
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<small>CHARTERED ARCHITECTS BUILDING SURVEYORS QUANTITY SURVEYORS CDM CO-ORDINATORS</small>			
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Drawn SCD	Date Mar '22	Checked by JMT	Drwg No Rev E04 .

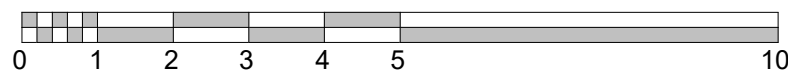


Existing West Elevation 1:100



Existing North Elevation 1:100

SCALE IN METRES



EXISTING FINISHES SCHEDULE.

Walls.....	Painted render.
Roof.....	Natural slate.
Windows.....	White/brown upvc.
Doors.....	White upvc / painted timber.
Boundaries.....	Hedges / timber fences.
Vehicle access and hardstanding.....	Tarmac drive, paving slabs to terraces, patios, gravel paths.
Lighting.....	White metal floodlights.
Others...	
Fascias and soffits....	White upvc.
Rainwater goods.....	White upvc.

REVISIONS NOTES.
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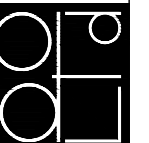
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Drwg
Existing Elevations.

Project
**New House at Kenmore, Saundersfoot,
Pembrokeshire**

Client
Mr. D. Thompstone.

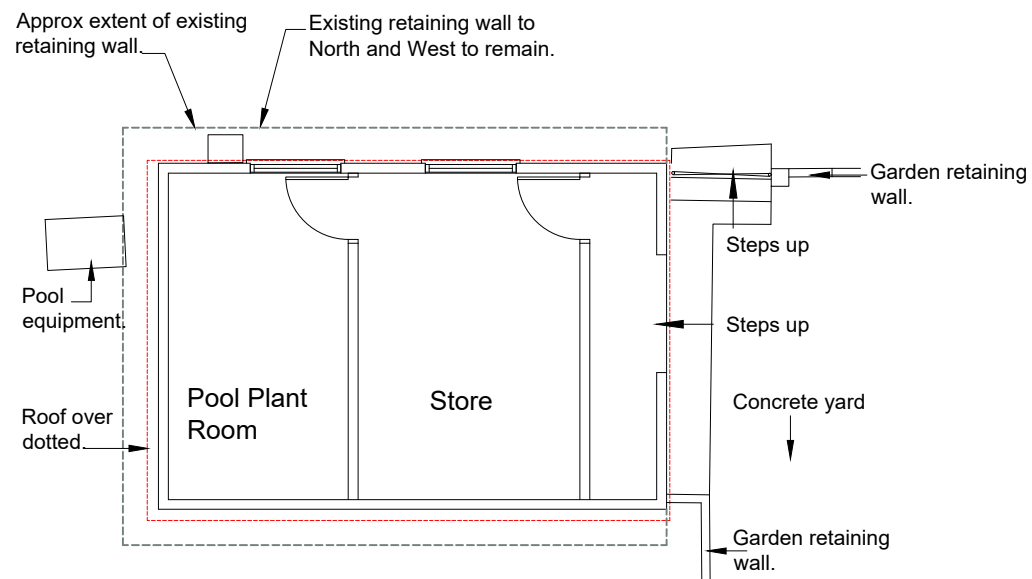
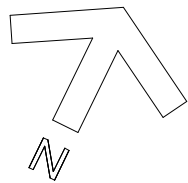
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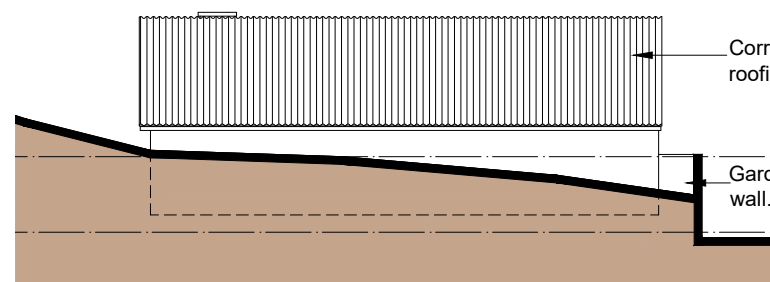
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BUILDING
SURVEYORS
QUANTITY
SURVEYORS
C D M
C O - O R D I N A T O R S

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Drawn SCD	Date Mar '22	Checked by JMT	Drwg No Rev E05 .

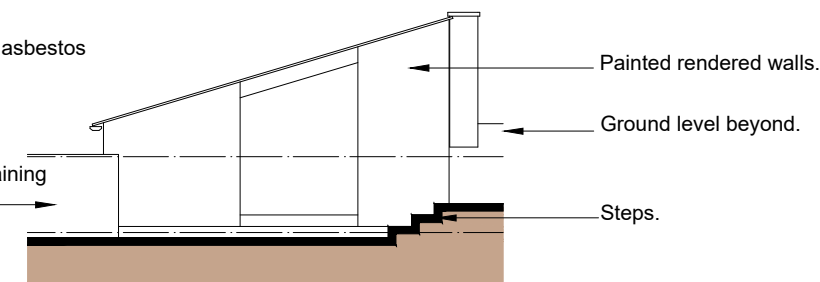


Existing Floor Plan 1:100

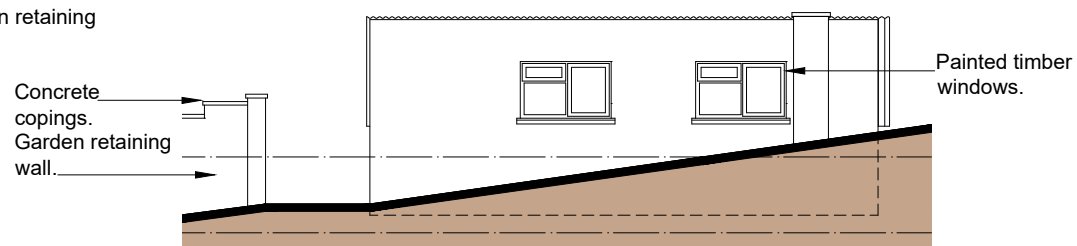
Existing pool house to be demolished and replaced.



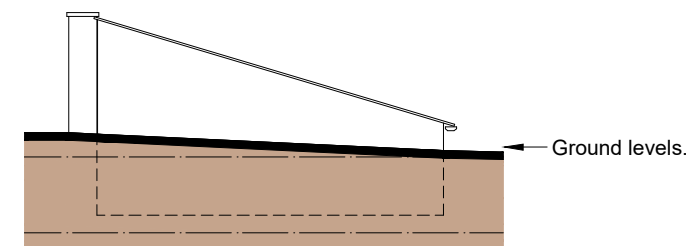
Existing South Elevation
1:100



Existing East Elevation
1:100

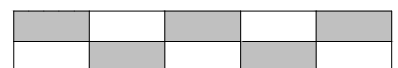


Existing North Elevation
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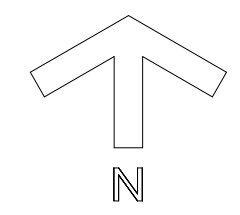
Existing West Elevation
1:100

SCALE IN METRES



0 1 2 3 4 5

REVISIONS NOTES.		DATE	REV
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Drwg Existing Pool House.			
Project New House at Kenmore, Saundersfoot, Pembrokeshire			
Client Mr. D. Thompstone.			
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Drwg
Site Survey Plan / Proposed First Floor Plan / Adjacent House Locations.

Project
New House at Kenmore, Saundersfoot, Pembrokeshire

Client
Mr. D. Thompstone.

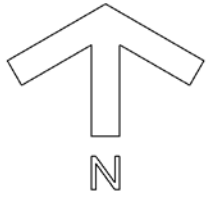
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CHARTERED ARCHITECTS BUILDING SURVEYORS QUANTITY SURVEYORS CDM CO-ORDINATORS

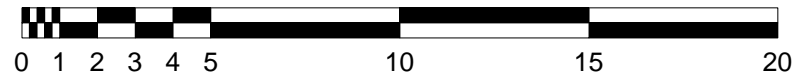
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Drawn SCD	Date Nov '22	Checked by JMT	Drwg No Rev E08



Site Plan

1 : 200

SCALE IN METRES



PROPOSED FINISHES SCHEDULE.

Boundaries.....	Hedges, timber fences.
Vehicle access	Pavours to driveway. Concrete / ceramic / stone and hardstanding.
Lighting.....	slabs to balconies, terraces, paths and steps.
Others.....	TBC
Columns.....	Fair-face concrete / painted galvanised steel.
Soffits.....	Fair-face concrete and timber cladding.
Balustrade	Glass and stainless steel.
and handrails	
Rainwater goods.....	Grey powder coated aluminium.

Existing pool house demolished, replaced with new pool house.	Aug '22 D
General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
REVISIONS NOTES.	DATE REV
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Drwn **SITE PLAN**

Project
NEW HOUSE AT KENMORE, SAUNDERSFOOT

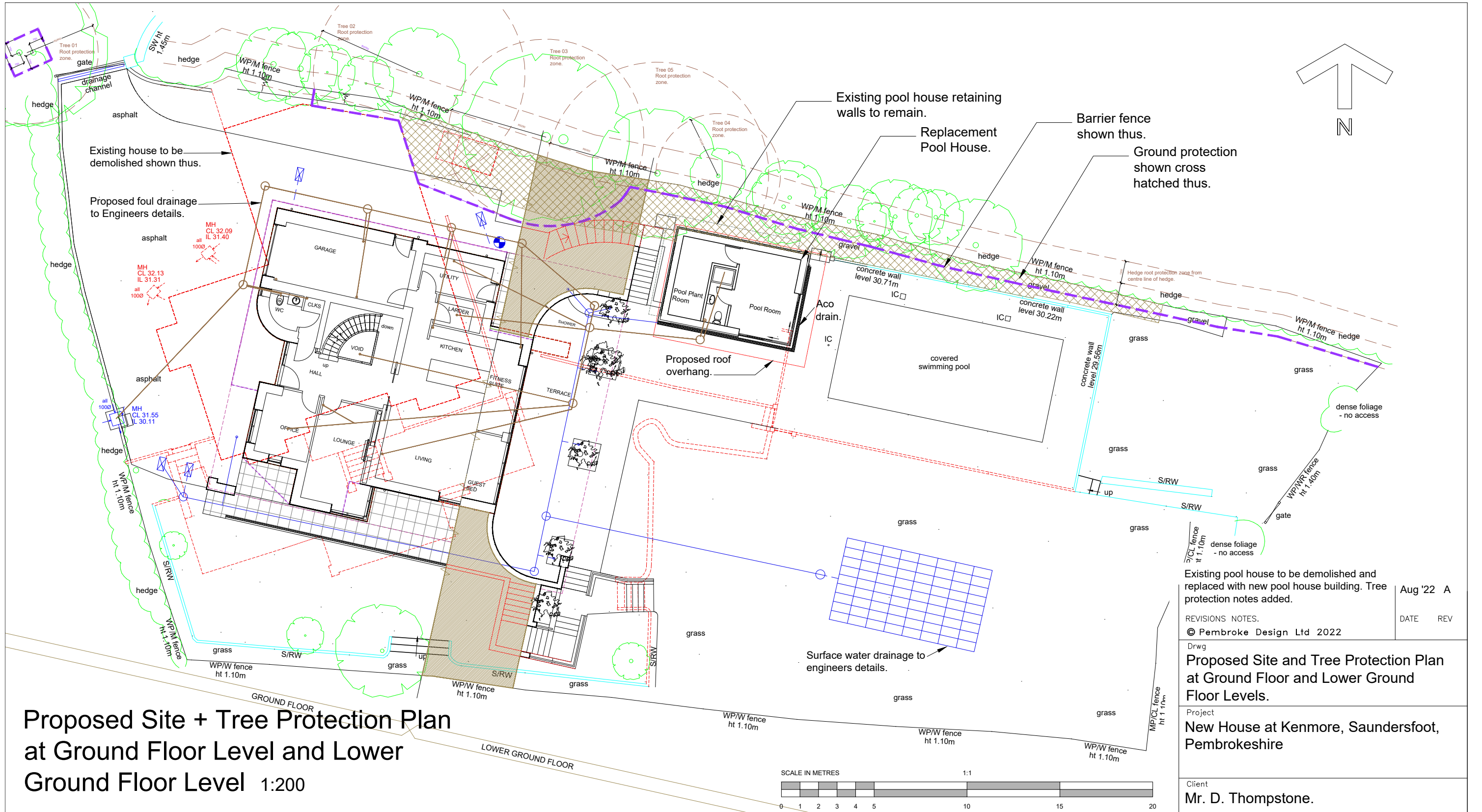
Client
MR D THOMPSTONE



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SUPPL LIVE JOBS FOR DCS SHARED 9323 - KENMORE SAUNDERSFOOT.PDL DRAWINGS/REV/1/10/2023.V1



Proposed Site + Tree Protection Plan at Ground Floor Level and Lower Ground Floor Level 1:200

TREE PROTECTION NOTES

Tree 1:
The area of the new road within the RPA must be removed by hand, and no mechanical digging. Once any top soil has been removed; any exposed roots with have to be covered with hessian or similar, and kept damp until they can be recovered. The inert granular material must not be builders sand, due to the high levels of salt. The three-dimensional cellular confinement must be suitable to deal with traffic volume, such as Terram Geocell 22/20, or Cellweb TRP 75-200. There must be no mixing of cement or materials that can soak into the ground and cause root damage within the RPA. Reinstatement of the drive within the RPA of this tree will have to be carried out by hand, to assess the level of roots. If roots are found, then a suitable sub base of three-dimensional cellular confinement will have to be used to prevent future root compaction. Refer to cross section detail, Annexe 2 of the Tree Report.

Protection to all trees and hedges identified in Tree Report :

All pre-construction pruning work to be carried out to BS 3998. Refer to Tree Report for further specific details.
The demolition of the current buildings must be done within the current footprint; a 'top down & pull back' method.
Ground protection: As per B.S 5837 6.2.3.3-B the use of 150mm of woodchip covered with scaffold boards overlaying a geo textile membrane will provide adequate protection. There must be no mixing or storing of building materials in this area.
A clearly defined barrier consisting of weld mesh panels, no less than 2m in height, securely fixed to the ground during construction as per BS 1722-18; be set around RPA of all trees identified in Tree Report including the reduced (hedge line) RPA before construction starts.

Existing pool house to be demolished and replaced with new pool house building. Tree protection notes added. Aug '22 A

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Drwg
Proposed Site and Tree Protection Plan at Ground Floor and Lower Ground Floor Levels.

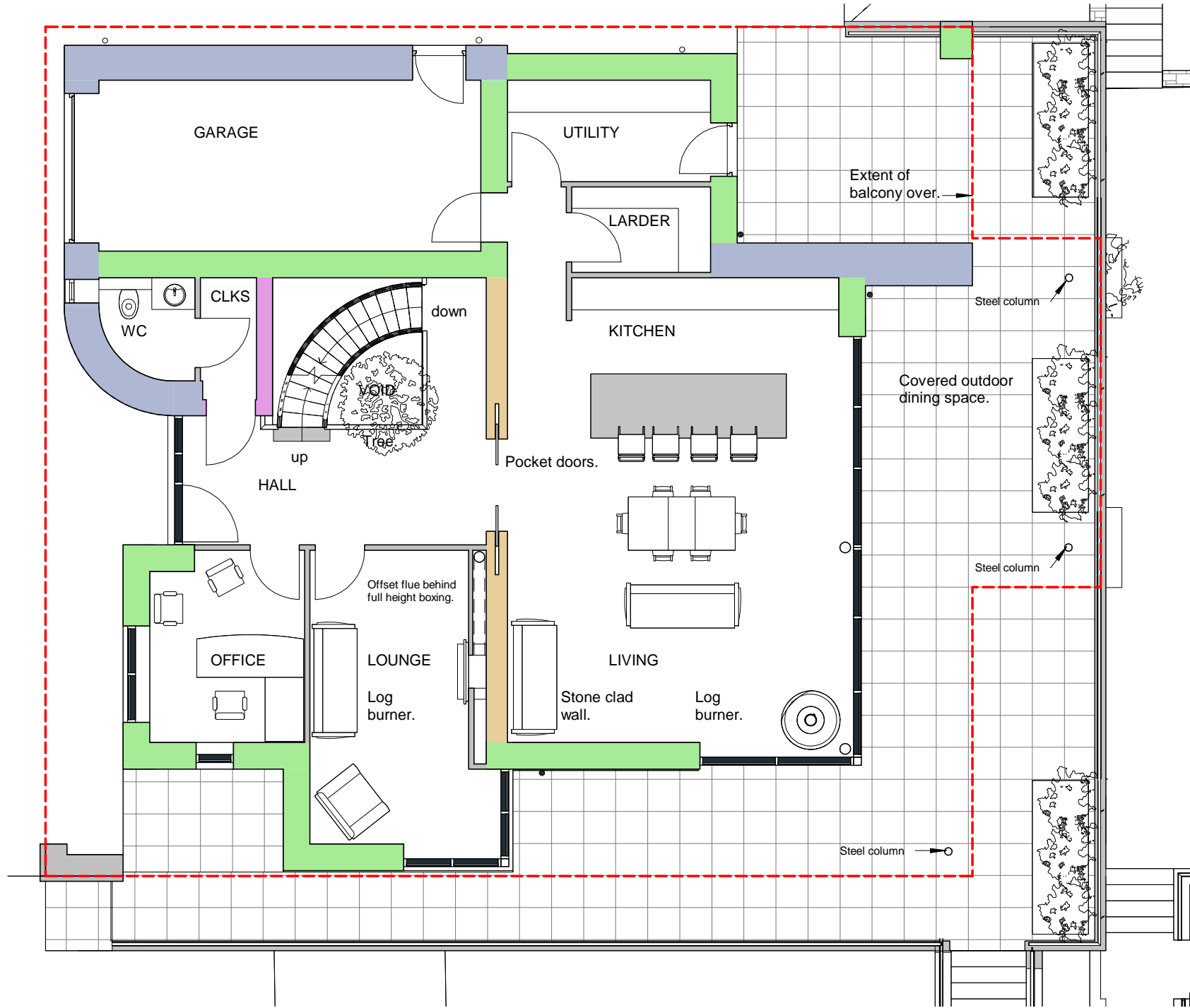
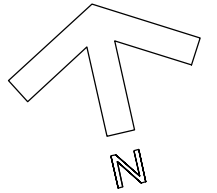
Project
New House at Kenmore, Saundersfoot, Pembrokeshire

Client
Mr. D. Thompstone.

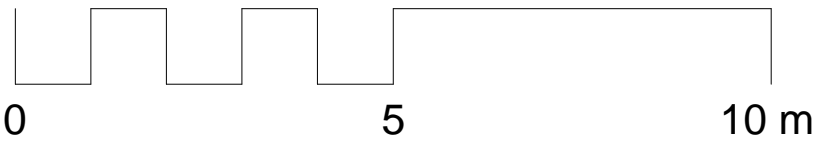
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Drawn SCD	Date May '22	Checked by JMT	Drwg No Rev P02 A



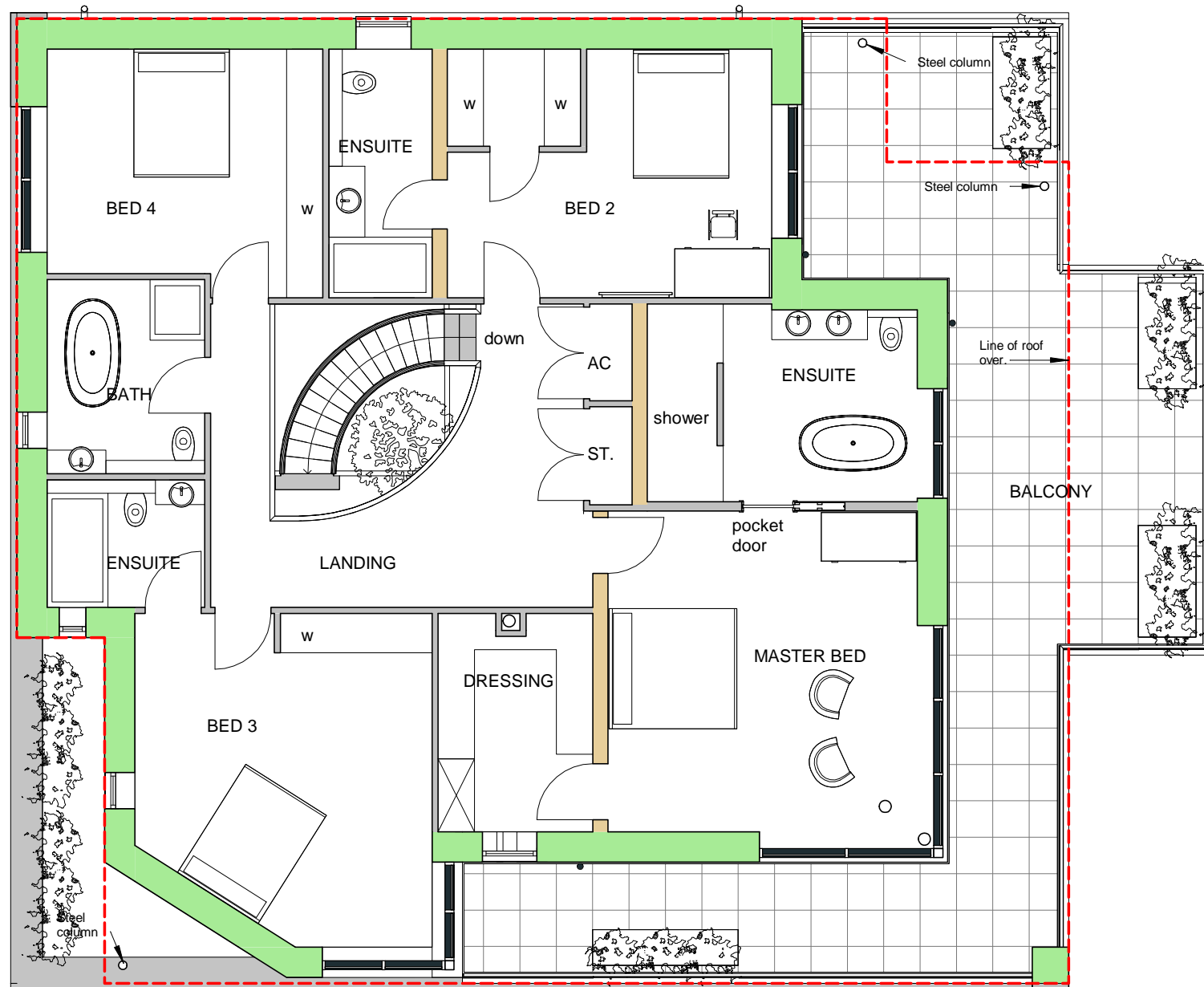
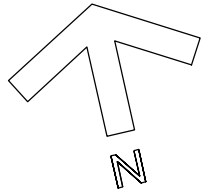
Ground Floor Plan
1 : 100



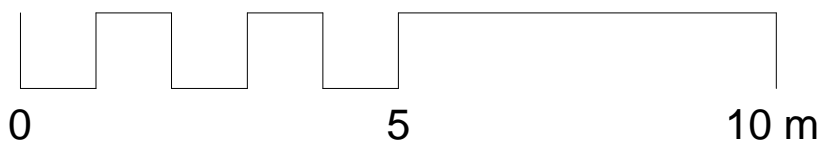
Columns amended / added.	Jun '22 D
General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
REVISIONS NOTES.	DATE REV
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Drawn Ground Floor Plan			
Project NEW HOUSE AT KENMORE, SAUNDERSFOOT			
Client MR D THOMPSTONE			
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Drawn SCD	Date MAR 22	Checked by JMT	Drwg No Rev 02 D

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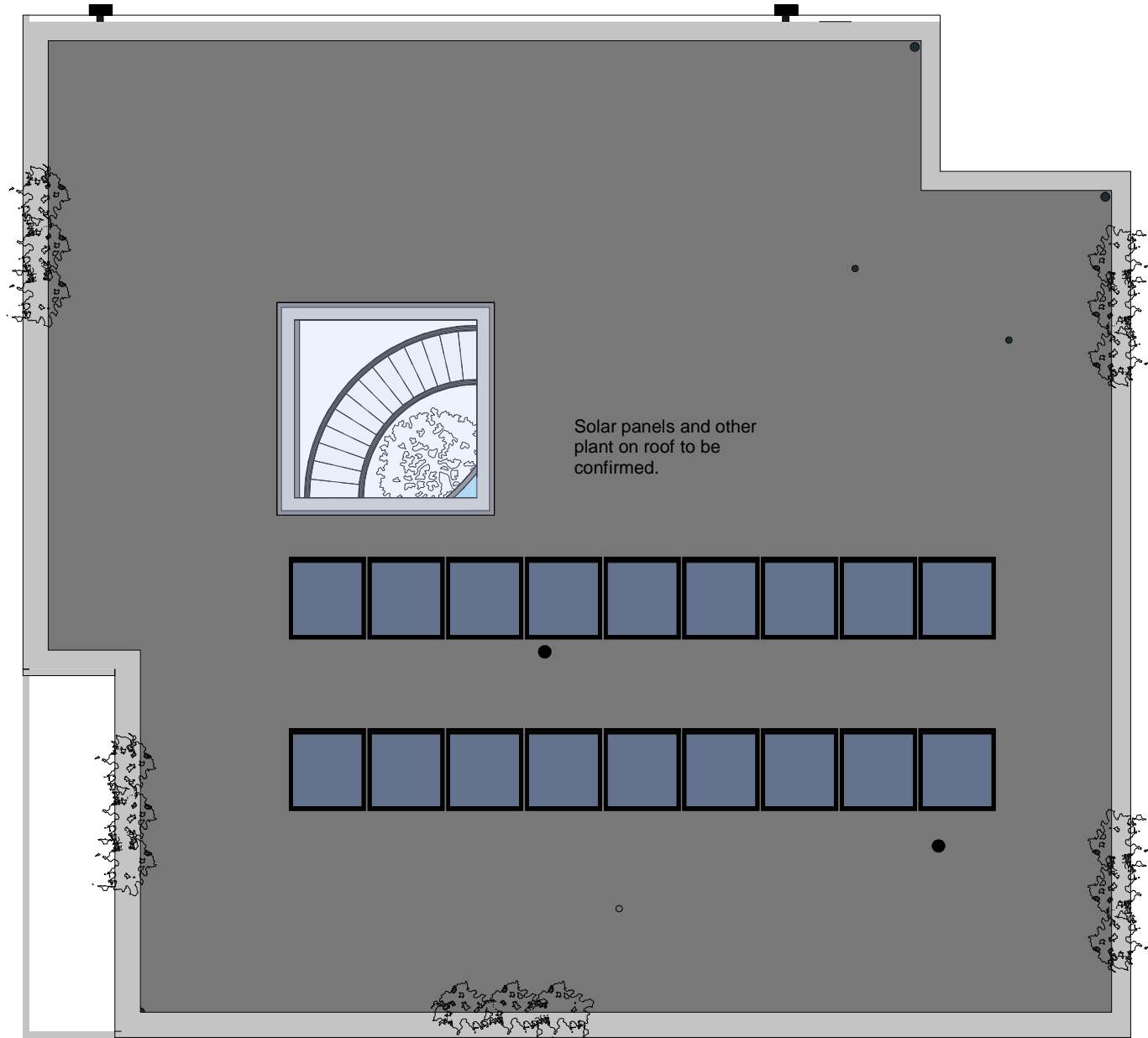
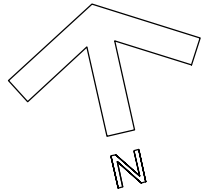
First Floor Plan
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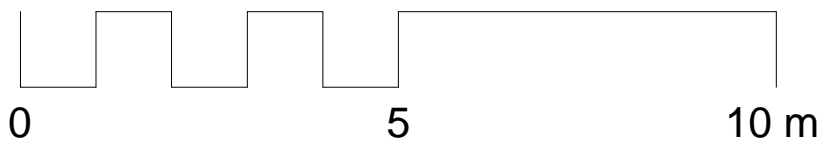
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General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
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Drwn First Floor Plan			
Project NEW HOUSE AT KENMORE, SAUNDERSFOOT			
Client MR D THOMPSTONE			
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Designed JMT	Scale 1 : 100	Original Size A3	Job No 9323
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Roof Plan
1 : 100



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General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
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Drawn
Roof Plan

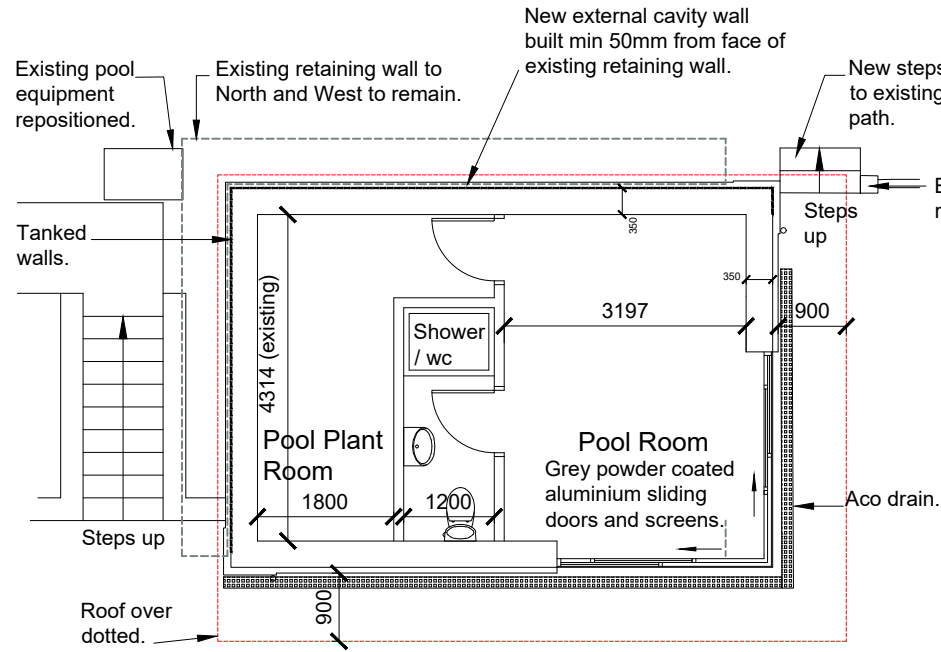
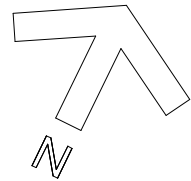
Project
**NEW HOUSE AT KENMORE,
SAUNDERSFOOT**

Client
MR D THOMPSTONE

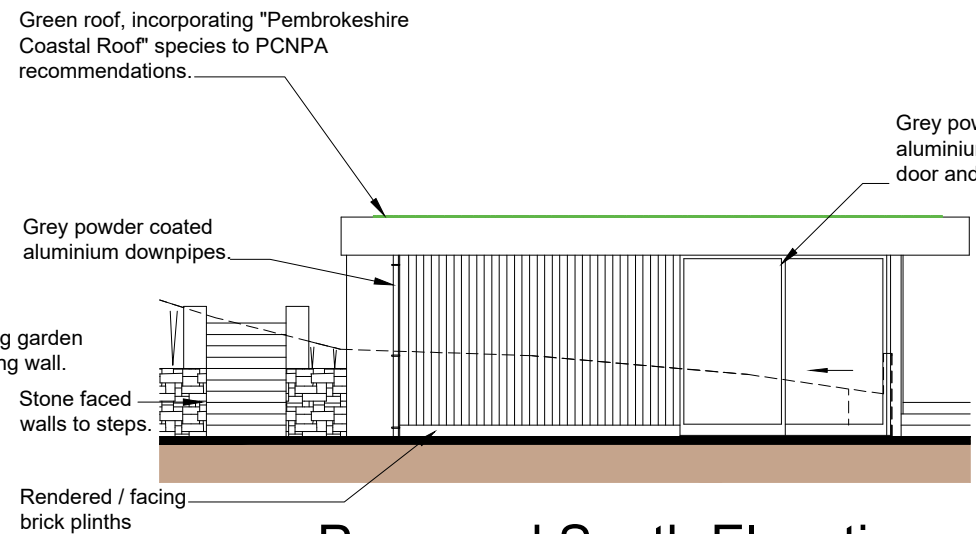
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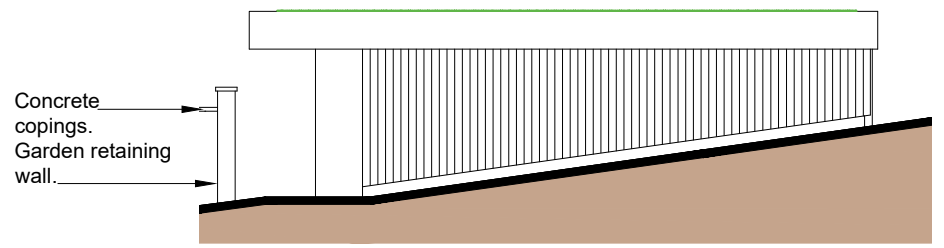
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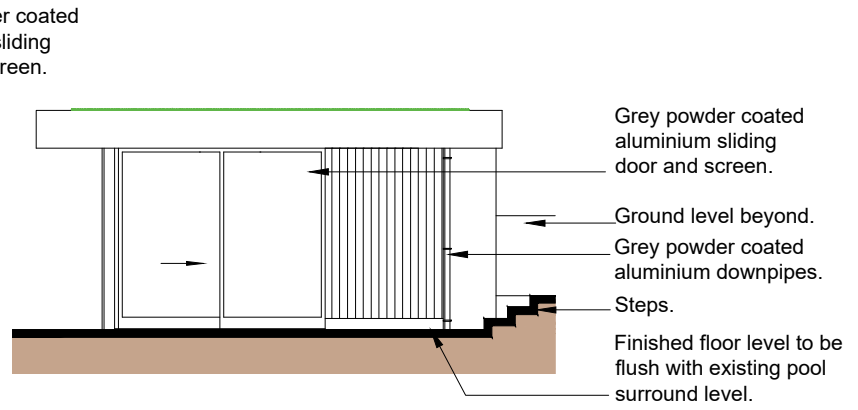
Proposed Floor Plan 1:100



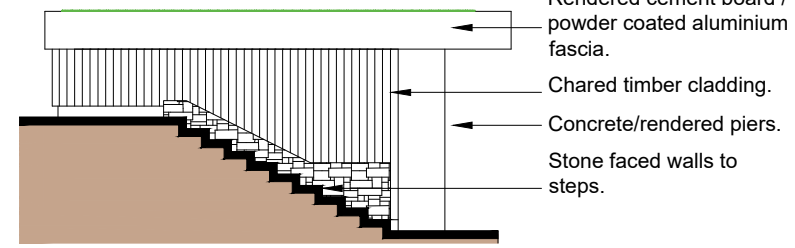
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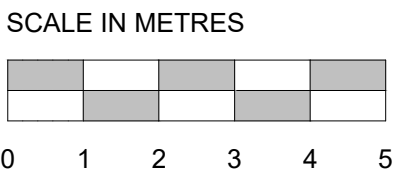
Proposed North Elevation 1:100



Proposed East Elevation 1:100



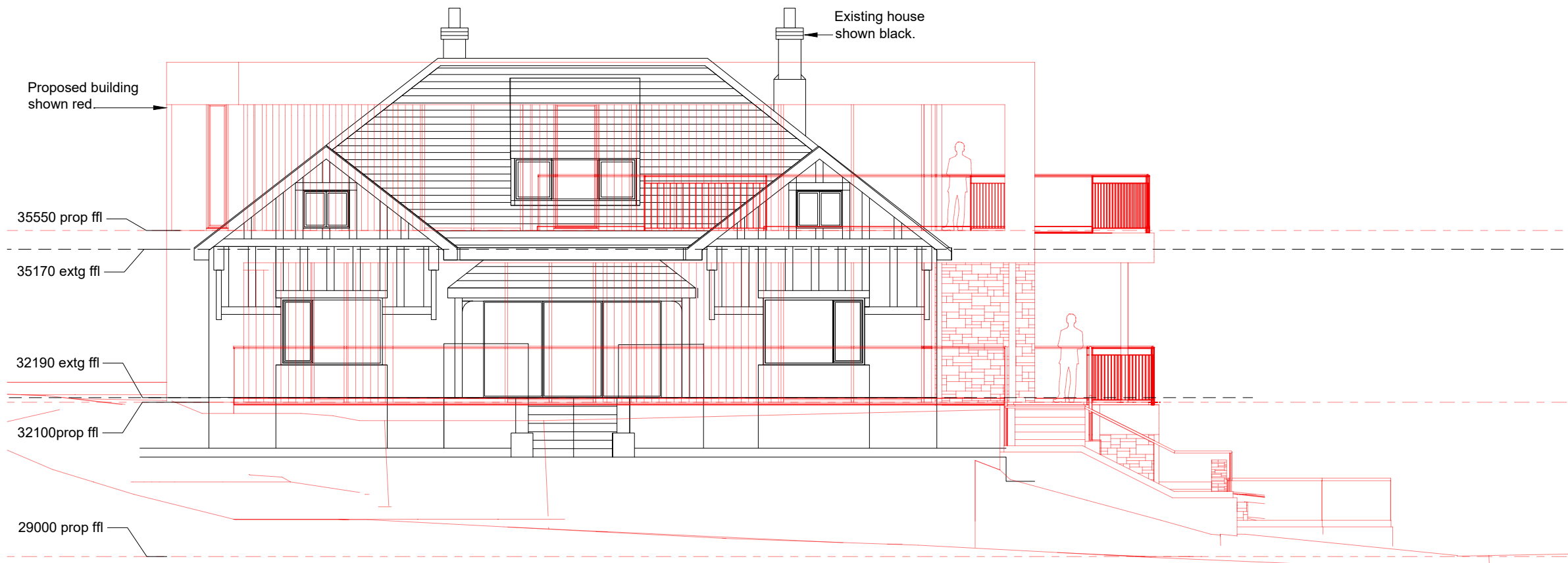
Proposed West Elevation 1:100



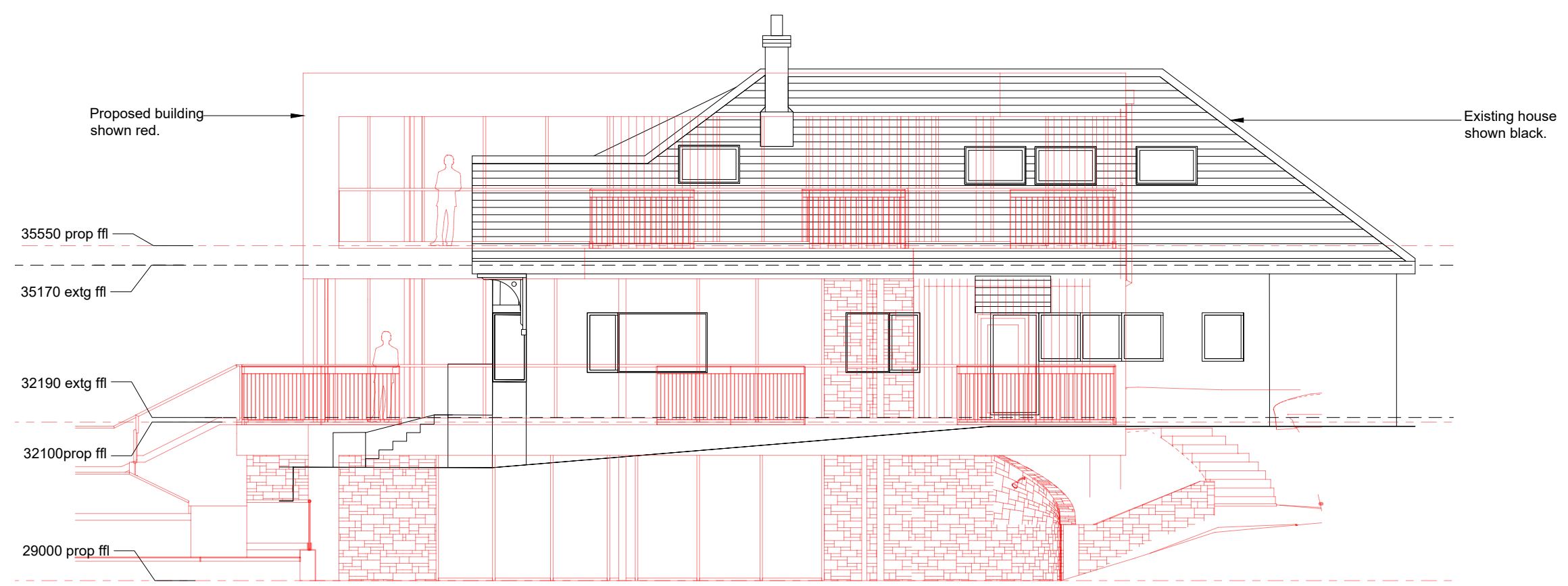
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Drwg Proposed Replacement Pool House.			
Project New House at Kenmore, Saundersfoot, Pembrokeshire			
Client Mr. D. Thompstone.			
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Drawn SCD	Date Aug '22	Checked by JMT	Drwg No Rev 09 .

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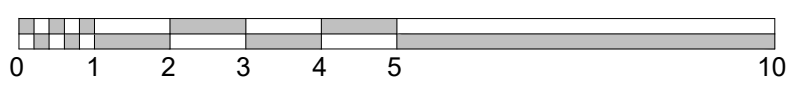


Existing / Proposed South Elevation 1:100



Existing / Proposed East Elevation 1:100

SCALE IN METRES



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Drwg Existing / Proposed Elevations.			
Project New House at Kenmore, Saundersfoot, Pembrokeshire			
Client Mr. D. Thompstone.			
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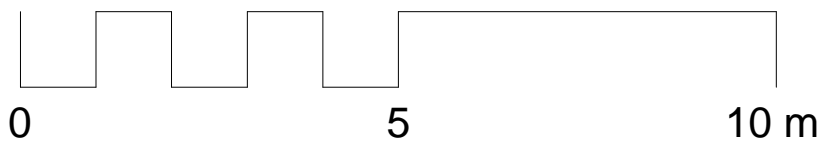


East Elevation

1 : 100


PROPOSED FINISHES SCHEDULE.

Walls.....	Self-coloured render, fair-face concrete, charred timber, natural stone.
Roof.....	Grey sheet / liquid-applied membrane. Green roof to pool house, incorporating "Pembrokeshire Coastal Roof" species, to PCNP recommendations.
Windows.....	Grey powder coated aluminium.
Doors.....	Grey powder coated aluminium. Composite/hardwood/powder coated aluminium entrance door. Powder coated aluminium/timber garage door.
Lighting.....	TBC
Columns.....	Fair-face concrete / painted galvanised steel.
Soffits.....	Fair-face concrete and timber cladding.
Balustrade and handrails	Glass and stainless steel.
Rainwater goods.....	Grey powder coated aluminium.



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Columns added/amended.	Jun '22 D
General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
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Drawn East Elevation			
Project NEW HOUSE AT KENMORE, SAUNDERSFOOT			
Client MR D THOMPSTONE			
PEMBROKE DESIGN L I M I T E D			
<small> ● HAVERFORDWEST 5/7 PICTON PLACE SA81 2LE TEL: 01437 764135 FAX: 01437 764471 hwest@pembrokedesign.co.uk ○ PEMBROKE DOCK 16 MEYRICK STREET SA72 6UT TEL: 01646 683439 FAX: 01646 681563 pdock@pembrokedesign.co.uk ○ CARMARTHEN 26 SPLAMAN STREET SA31 1LO TEL: 01267 233612 FAX: 01267 233471 com@pembrokedesign.co.uk </small>			
Designed JMT	Scale 1 : 100	Original Size A3	Job No 9323
Drawn SCD	Date MAR 22	Checked by JMT	Drwg No Rev 05 D

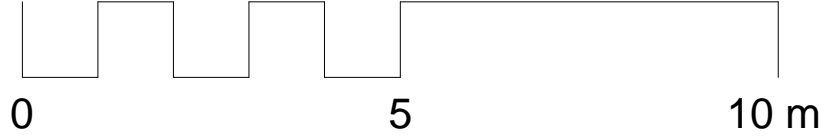


North Elevation

1 : 100

PROPOSED FINISHES SCHEDULE.

Walls.....	Self-coloured render, fair-face concrete, charred timber, natural stone.
Roof.....	Grey sheet / liquid-applied membrane. Green roof to pool house, incorporating "Pembrokeshire Coastal Roof" species, to PCNP recommendations.
Windows.....	Grey powder coated aluminium.
Doors.....	Grey powder coated aluminium. Composite/hardwood/powder coated aluminium entrance door. Powder coated aluminium/timber garage door.
Lighting.....	TBC
Columns.....	Fair-face concrete / painted galvanised steel.
Soffits.....	Fair-face concrete and timber cladding.
Balustrade and handrails	Glass and stainless steel.
Rainwater goods.....	Grey powder coated aluminium.



Columns added/amended.	Jun '22 D
General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
REVISIONS NOTES.	DATE REV
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Drawn
North Elevation

Project
NEW HOUSE AT KENMORE, SAUNDERSFOOT

Client
MR D THOMPSTONE

PEMBROKE DESIGN
L I M I T E D

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Designed JMT	Scale 1 : 100	Original Size A3	Job No 9323
Drawn SCD	Date MAR 22	Checked by JMT	Drwg No Rev 06 D

CHARTERED ARCHITECTS BUILDING SURVEYORS QUANTITY SURVEYORS CDM CO-ORDINATORS

S:\P\LIVE JOBS\POD\PS SHARE\9323 - KENMORE SAUNDERSFOOT\DWG\DRAWINGS\REV\102023\1.dwg

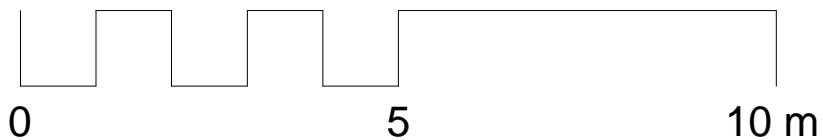


South Elevation

1 : 100


PROPOSED FINISHES SCHEDULE.

Walls.....	Self-coloured render, fair-face concrete, charred timber, natural stone.
Roof.....	Grey sheet / liquid-applied membrane. Green roof to pool house, incorporating "Pembrokeshire Coastal Roof" species, to PCNP recommendations.
Windows.....	Grey powder coated aluminium.
Doors.....	Grey powder coated aluminium. Composite/hardwood/powder coated aluminium entrance door. Powder coated aluminium/timber garage door.
Lighting.....	TBC
Columns.....	Fair-face concrete / painted galvanised steel.
Soffits.....	Fair-face concrete and timber cladding.
Balustrade and handrails	Glass and stainless steel.
Rainwater goods.....	Grey powder coated aluminium.



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Columns amended / added.	Jun '22 D
General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
REVISIONS NOTES.	DATE REV
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Drawn South Elevation			
Project NEW HOUSE AT KENMORE, SAUNDERSFOOT			
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Designed JMT	Scale 1 : 100	Original Size A3	Job No 9323
Drawn SCD	Date MAR 22	Checked by JMT	Drwg No Rev 07 D

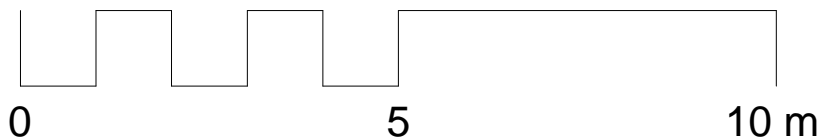


West Elevation

1 : 100

PROPOSED FINISHES SCHEDULE.

Walls.....	Self-coloured render, fair-face concrete, charred timber, natural stone.
Roof.....	Grey sheet / liquid-applied membrane. Green roof to pool house, incorporating "Pembrokeshire Coastal Roof" species, to PCNP recommendations.
Windows.....	Grey powder coated aluminium.
Doors.....	Grey powder coated aluminium. Composite/hardwood/powder coated aluminium entrance door. Powder coated aluminium/timber garage door.
Lighting.....	TBC
Columns.....	Fair-face concrete / painted galvanised steel.
Soffits.....	Fair-face concrete and timber cladding.
Balustrade and handrails	Glass and stainless steel.
Rainwater goods.....	Grey powder coated aluminium.



Column added.	Jun '22 D
General amendments.	Mar '22 C
General amendments.	Mar '22 B
General amendments.	Feb '22 A
REVISIONS NOTES.	DATE REV
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Drawn West Elevation			
Project NEW HOUSE AT KENMORE, SAUNDERSFOOT			
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Designed JMT	Scale 1 : 100	Original Size A3	Job No 9323
Drawn SCD	Date MAR 22	Checked by JMT	Drwg No Rev 08 D