

**Application Ref: NP/22/0462/FUL**

**Case Officer** Rob James  
**Applicant** Mr G Meopham  
**Agent** Mr Philip Wilkinson, PNW Architectural Services  
**Proposal** Demolition and replacement of existing dwelling house  
**Site Location** Tar House, Knapp Farm Lane, Llangwm, Haverfordwest, Pembrokeshire, SA62 4HN  
**Grid Ref** SM99740934  
**Date Valid** 03-Aug-2022                      **Target Date** 27-Sep-2022

This application is before members as the Director considers it raises matters of Member interest. The applicant is an employee of PCNPA and whilst there are extended delegation powers currently in place which mean that this could currently be determined by officers, these delegation powers will cease at the end of December 2022 and in the interests of transparency it is considered appropriate to bring this application to Committee

**Consultee Response**

**Llangwm Community Council:** No Response  
**Dwr Cymru Welsh Water:** No Objection, advisory to consult NRW  
**PCC - Drainage Engineers:** Standard Advice, informative SAB Approval will be required  
**PCNPA Planning Ecologist:** No objection, informative on Bats  
**PCNPA Tree and Landscape Officer:** Conditional Consent  
**PCC - Transportation & Environment:** No Objection  
**Natural Resources Wales:** No Objection  
**PCNPA Access Manager:** No Objection.

**Public Response**

A site notice and neighbour notification letters were posted in accordance with requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.  
1 supportive response has been received from a neighbouring property.

**Policies considered**

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website –  
[Local Development Plan 2 - Pembrokeshire Coast National Park](#)

- LDP2 Policy 01 - National Park Purposes and Duty
- LDP2 Policy 07 - Countryside
- LDP2 Policy 08 - Special Qualities
- LDP2 Policy 10 - Sites and Species of European Importance
- LDP2 Policy 11 - Nationally Protected Sites and Species
- LDP2 Policy 13 - Welsh Language

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LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park

LDP2 Policy 29 - Sustainable Design

LDP2 Policy 30 - Amenity

LDP2 Policy 32 - Surface Water Drainage

LDP2 Policy 33 - Renewable Energy & Low Carbon Energy

LDP2 Policy 60 - Impacts of Traffic

PPW11

SPG03 - Landscape

SPG12 - Biodiversity

SPG16 - Sustainable Design & Development

TAN 05 - Nature Conservation and Planning

TAN 06 - Planning for Sustainable Rural Communities

TAN 08 - Renewable Energy

TAN 12 - Design

TAN 18 - Transport

### **Constraints**

Special Area of Conservation - within 500m

Common Land CROW Access

Historic Landscape

Safeguarding Zone

Rights of Way Inland - within 50m

Regionally Important Geological Sites

Recreation Character Areas

Low Coal Risk

Surface Coal

Affordable Housing Submarkets

Seascape Character Areas

Landscape Character Area

### **Officer's Appraisal**

#### **Site & Context**

The application is detailed within the proposed development and site are detailed in the accompanying plans, forms and site photographs. The proposal briefly comprises an application to demolish an existing 3 bedroomed detached property and replace it with a smaller 3 bedroom detached property. The attached garage will be retained.

#### **Relevant Planning History**

No Relevant History.

## Key Issues

The application raises the following planning matters:-

- Policy, Principle of Development and Impact on National Park
- Siting and Sustainable Design
- Amenity and Privacy
- Access and Parking
- Landscaping
- Biodiversity
- Land Drainage

### *Policy, Principle of Development and Impact on National Park:*

Future Wales – The National Plan 2040 (FW which was adopted on 24th February 2021 and is the National Development Framework for Wales – is the national tier of the Development Plan. Policy 4 Supporting Rural Communities states that Strategic and Local Development Plans must identify their rural communities, assess their needs and set out policies to support them. On page 104, Future Wales states that: “National Park Authorities are unique planning entities with a specific remit to reflect the distinctive characteristics of their areas...” and that “Future Wales policies respect the functions of National Parks in terms of their statutory purposes...”

The site lies within the open countryside as defined by the Pembrokeshire Coast National Park adopted Local Development Plan (LDP2). Policy 1 National Park Purposes and Duty supports development which is compatible with the National Park purposes and notes that in determining proposals, due regard will be paid to the need to foster the economic and social well-being of the local communities within the Park, provided that this is compatible with the statutory National Park purposes. Policy 7 is the relevant strategic policy which allows for release of land depending: on the character of the surroundings, and the pattern of development in the area’.

The application is for a replacement dwelling which is in lawful use so the principle of residential accommodation is accepted in this location. The development proposes a modern accommodation which will contribute to the social well-being of the local community. The proposal is considered compatible with the principles of Future Wales and with Policy 7 of the LDP. In order to comply with Policy 1 the National Park purposes, a proposal must be deemed acceptable in terms of the conservation and enhancement of the national park and its special qualities – these aspects are assessed in more detail below.

### *Siting, Design and Impact upon the Special Qualities of the National Park*

Policy 8 of the Pembrokeshire Coast National Park Local Development Plan 2 (LDP2) is a strategy policy which refers to the special qualities of the National Park and lists priorities to ensure that these qualities will be protected and enhanced.

Policy 14 of the LDP2 seeks the conservation of the Pembrokeshire Coast National Park with criteria (a) and (b) resisting development that would cause significant visual intrusion and/or, that would be introducing or intensifying a use which is incompatible with its location. Criteria (c) and (d) resists development that would fail

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to harmonise with or enhance the landform and landscape character of the National Park and/or fails to incorporate important traditional features.

Policy 29 of LDP2 requires all development proposals to be well designed in terms of a range of criteria including place and local distinctiveness; environment and biodiversity, efficient use of energy and materials and resources . The proposed design is considered to address the policy criteria relevant to a proposal of this nature. With regards to materials and resources a condition requiring a Construction and Environment Management Plan could be placed on any permission which would encourage reuse of materials within the site where practicable. This reflects the approach set out in the Authority's SPG on Sustainable Design.

Parts of the Pembrokeshire Coast National Park are still relatively undeveloped with minimal impact of lighting on the night sky. Policy 9 seeks to conserve that character and limit the impact of lighting which could negatively impact on the special qualities of the National Park.

The proposed design differs slightly from the existing design. The proposed roof is hipped. This proposal element is considered appropriate and as the footprint of the property is now reduced the hipped roof is in keeping with the square footprint.

Replacement dwellings are usually to be built on the existing footprint of the building unless material considerations deem it appropriate to be relocated. All of the new building will be built on the existing footprint. Officers consider this to be appropriate.

### *Amenity and Privacy*

Policy 30 of the LDP refers to 'amenity' in general seeking to avoid incompatible development and significant adverse impact upon the amenity enjoyed by neighbouring properties particularly where the development is an inappropriate use, is of a scale incompatible with its surroundings, development leads to an increase in traffic, noise, odour or light or the development is visually intrusive.

The current proposal is not considered by officers to result in impact upon the amenity and privacy currently enjoyed by neighbouring properties.

### *Highways, Access and Parking*

PCC Highways department have also been consulted and gave no objection, noting that the vehicle access will not change and nor will the large parking and turning area. The Highways department consider that this parking and turning area will be ample for the new dwelling and no conditions are proposed.

### *Landscaping*

PCNPA Tree & Landscape Officer has been consulted and gave no objections subject to a condition that protects existing boundary hedgerows and trees.

Subject to the inclusion of this suggested condition the application is considered appropriate.

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### *Biodiversity*

PPW, TAN5 and LDP policy 11 requires biodiversity and landscape considerations to be taken into account in determining individual applications.

The presence of a species protected under UK or European legislation is a material consideration when dealing with applications that are likely to result in disturbance or harm to the species or its habitat.

No bats were recorded using the building proposed for demolition as part of the ecological survey work by Kite Ecology.

The site is 120m from a SAC, the Authority's Ecologist has been consulted and gave the following response "due to the nature of the proposal and the existing site conditions and use, it is not considered that the proposal will result in an adverse impact on the nearby protected site".

The Authority's Ecologist has confirmed that an EPS License is not required and added that the proposed external lighting and bat boxes as shown on the submitted plans is welcomed. This enhancement is considered to address the requirements within the Authority's Supplementary Planning Guidance on Biodiversity for development proposals to deliver appropriate enhancement.

An informative advisory note will be added to this report highlighting the procedures if bats are encountered during development.

### *Land Drainage*

Welsh Water has indicated that as the development proposes to use a septic tank and that NRW should be consulted in respect of this. NRW have responded with no objection to the development.

PCC drainage engineers have confirmed that SAB approval will be required and an informative could be issued on any decision notice.

### **Conclusion**

Following consideration of the policies contained within Future Wales, LDP2 and National Planning Policy in the form of Planning Policy Wales (Edition 11) and having regard to all material considerations it is considered that the development is in accordance with policy, is appropriate and can be supported. The scheme incorporates a sustainable design that provides modern living accommodation. The development will be in keeping with the aims of the LDP2, in that the development and will conserve and enhance the existing character of the site and the special qualities of this area of the National Park. As such, subject to a schedule of suitable conditions to control the development the development is considered to be acceptable.

In reaching a recommendation, regard has been given to the requirements of sections 3 and 5 of the Well Being of Future Generations (Wales) Act 2015. It is considered that this recommendation is in accordance with the Act's sustainable

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development principle through its contribution towards the Welsh Ministers' well-being objective of supporting safe, cohesive and resilient communities.

### Recommendation

APPROVE, subject to the following conditions:

1. The development shall begin not later than five years from the date of this decision.  
**Reason:** Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
2. The development shall be carried out in accordance with the following approved plans and documents:  
Location & Existing Block Plan P01.  
Proposed Site Layout P04.  
Proposed Ground Floor Plan P05.  
Proposed First Floor Plan P06.  
Proposed SE & SW Elevations P07.  
Proposed NW & NE Elevations P08  
**Reason:** In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).  
**Reason:** In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).
3. No development shall commence, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority.  
The approved statement shall be adhered to throughout the construction period. The statement shall provide for:
  - i) the parking of vehicles of site operatives and visitors;
  - ii) loading and unloading of plant and materials;
  - iii) storage of plant and materials used in constructing the development;
  - iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
  - v) wheel washing facilities; vi) measures to control the emission of dust and dirt during demolition and construction; and
  - vi) a scheme for recycling on site/disposing of waste resulting from demolition and construction works.
4. All retained trees, hedgebanks and hedge boundary features and/or any trees whose canopies overhang the site shall be protected in accordance with BS5837: 2012 Trees in relation to design, demolition and construction – Recommendations for the duration of the development, the location and type

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to be previously approved in writing by the local planning authority. The protection measures shall be erected before any equipment, machinery or materials are brought onto the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed within any protected area, and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the prior written consent of the local planning authority.

**Reason:** To prevent detrimental impact to trees, hedges and other landscape features which contribute to the amenity, landscape & biodiversity of the site and surrounding area. Local Development Plan 2 – Policies: 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation and enhancement of the Pembrokeshire Coast National Park), 30 (Amenity), SPG 12 – Biodiversity, Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997)

### **Informatives**

#### DRAINAGE

Pembrokeshire County Council as SuDS Approving Body (SAB) considers that by virtue of the fact that the construction area having drainage implications appears to be in excess of 100 square metres the proposed works will require SAB approval prior to the commencement of any works on site relating to this application.

The applicant should be made aware that the granting of planning consent for this application does not remove the requirement to gain SAB approval.

It should be noted that if an application for SAB approval has not been made and subsequently approved by the SAB Team as part of a formal SAB Application, we will not be able to support any future application for the discharge of any surface water drainage related condition in connection with this development since any proposals submitted for the discharge of the condition may be subject to change in order to meet Welsh Governments Statutory Standards for Sustainable Drainage Systems.

The applicant can obtain further information in relation to the requirement for SAB approval from the Authorities Website at [www.pembrokeshire.gov.uk/planning-contacts/sustainable-drainage-approving-body-sab](http://www.pembrokeshire.gov.uk/planning-contacts/sustainable-drainage-approving-body-sab)

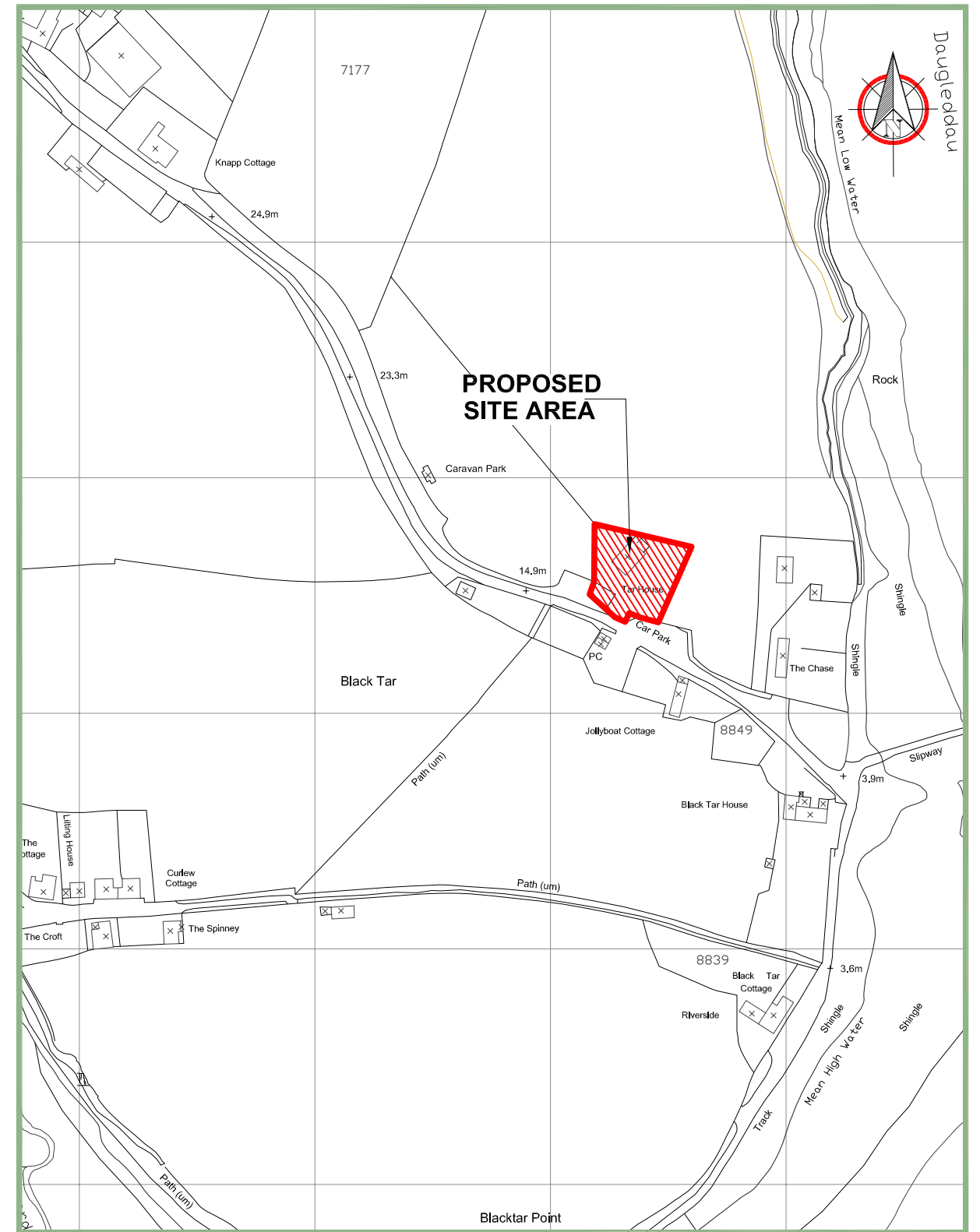
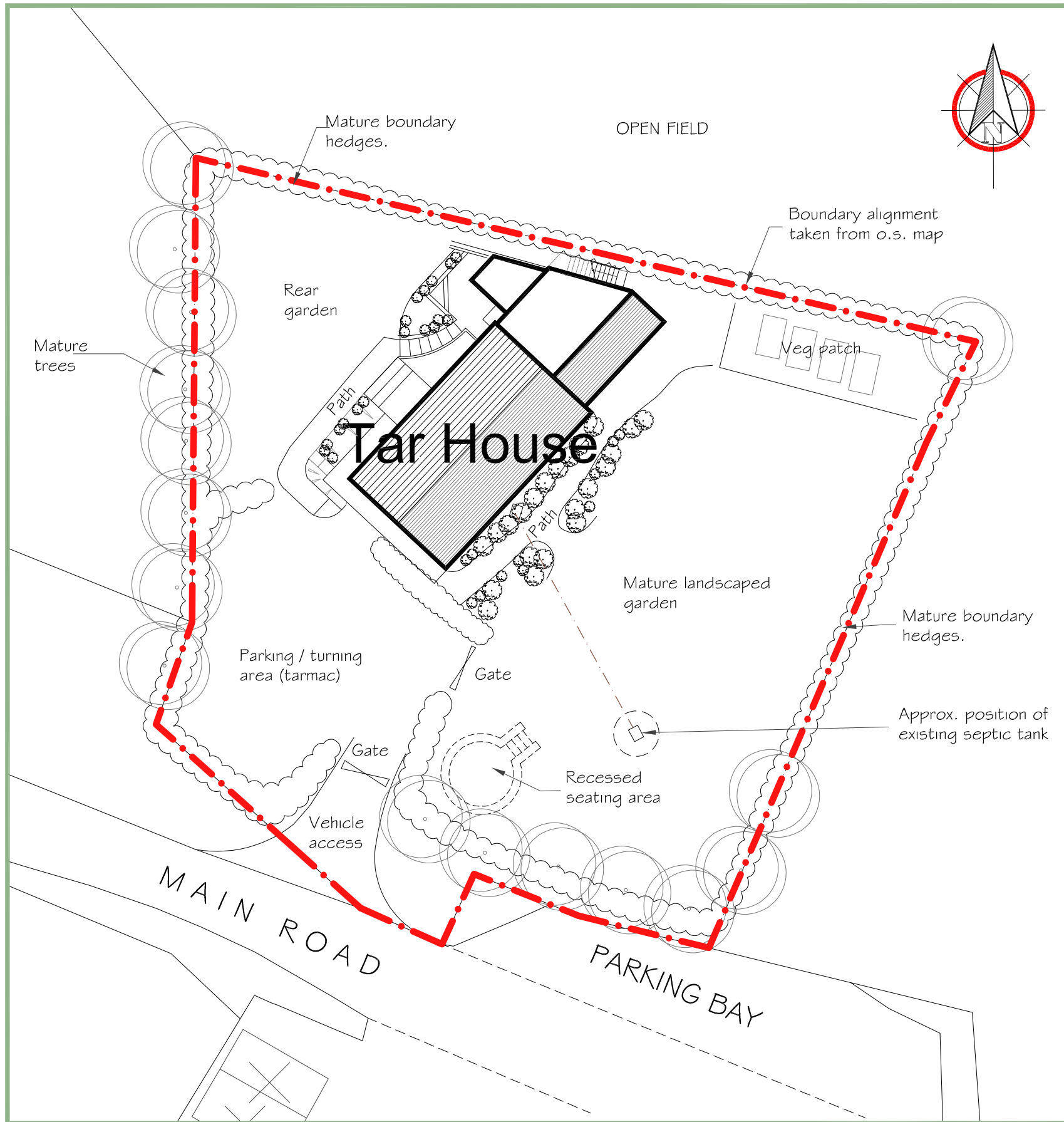
- It is recommended that the applicant be informed that all British bat species are European Protected Species by virtue of their listing under Annex IV of EC Directive 92/43/EEC ('The Habitats Directive'). This Directive has been transposed into British Law under the Conservation of Habitats and Species Regulations 2017. British bats are also protected under Schedule 5 of the Wildlife and Countryside Act (1981) (as amended).
- It is recommended that the applicant and contractors be informed of

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the possibility of encountering bats unexpectedly during works.

- If bats are encountered on site works should stop immediately an NRW should be contacted (Natural Resources Wales, - General Enquiries: enquiries@naturalresourceswales.gov.uk or 0300 065 3000 Mon-Fri, 8am - 6pm) a licence may then need to be applied for from NRW. Licences are not automatically granted by virtue of a valid planning consent and it may be possible that the necessary licence application may be refused.





# LOCATION PLAN / EXISTING BLOCK PLAN

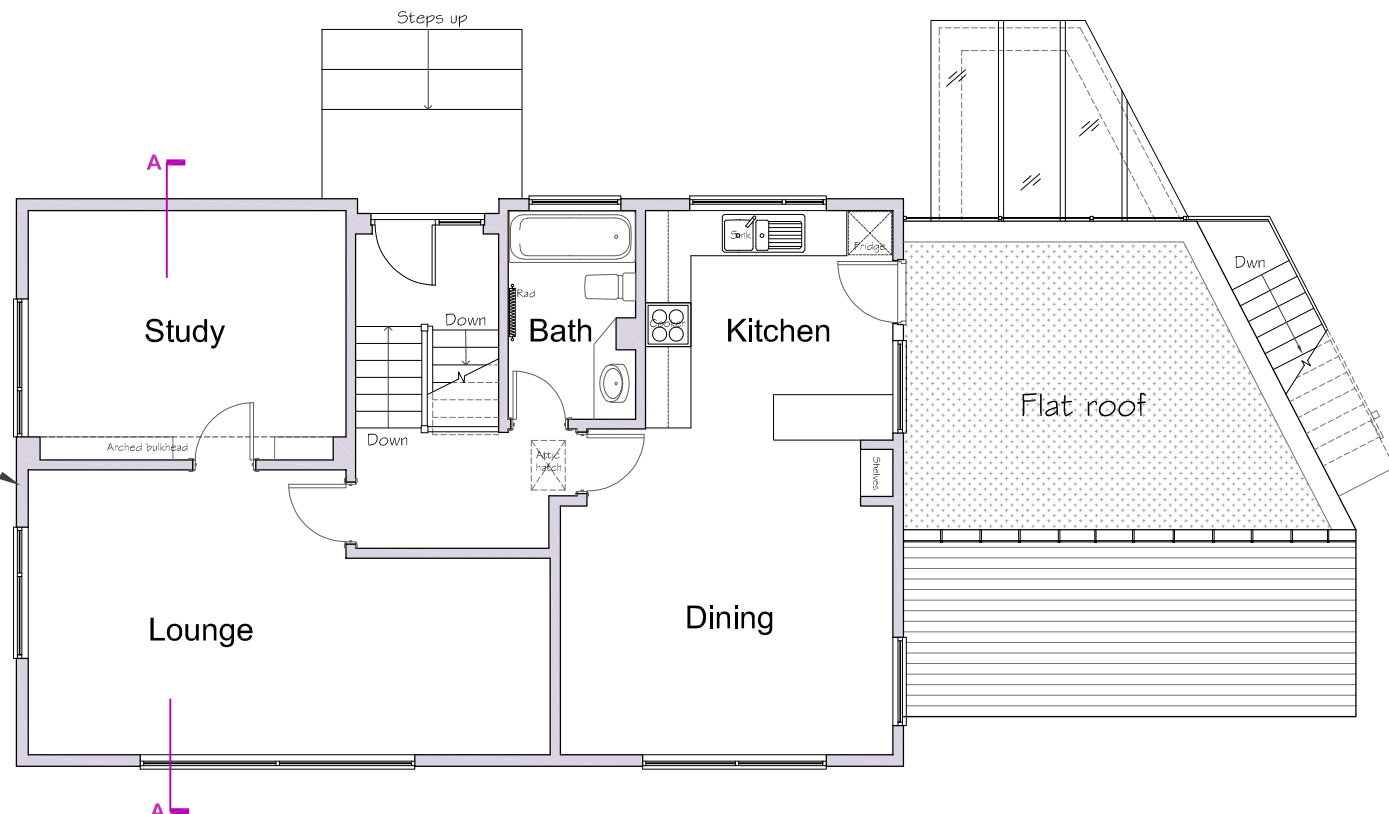


Revision	Description	Date
Drawing <b>LOCATION PLAN / BLOCK PLAN</b>		
Client <b>Mr G. Meopham &amp; Ms. L. Bowden</b>		
Project / Title <b>Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.</b>		
Dwg No. <b>P01</b>	Job No. 1908	Paper A3
Rev.	Scale 1:2500 / 250	Date JUNE 2022

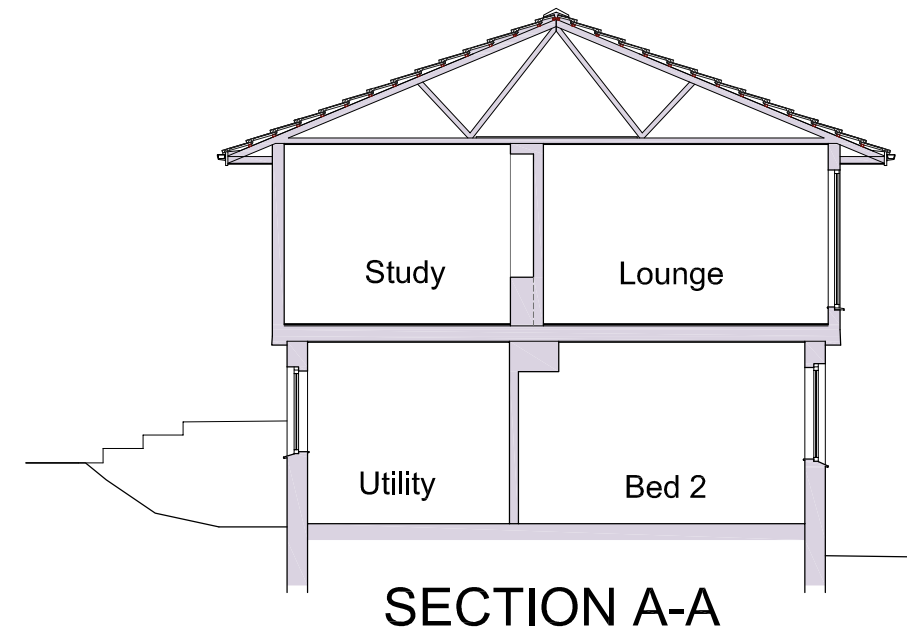
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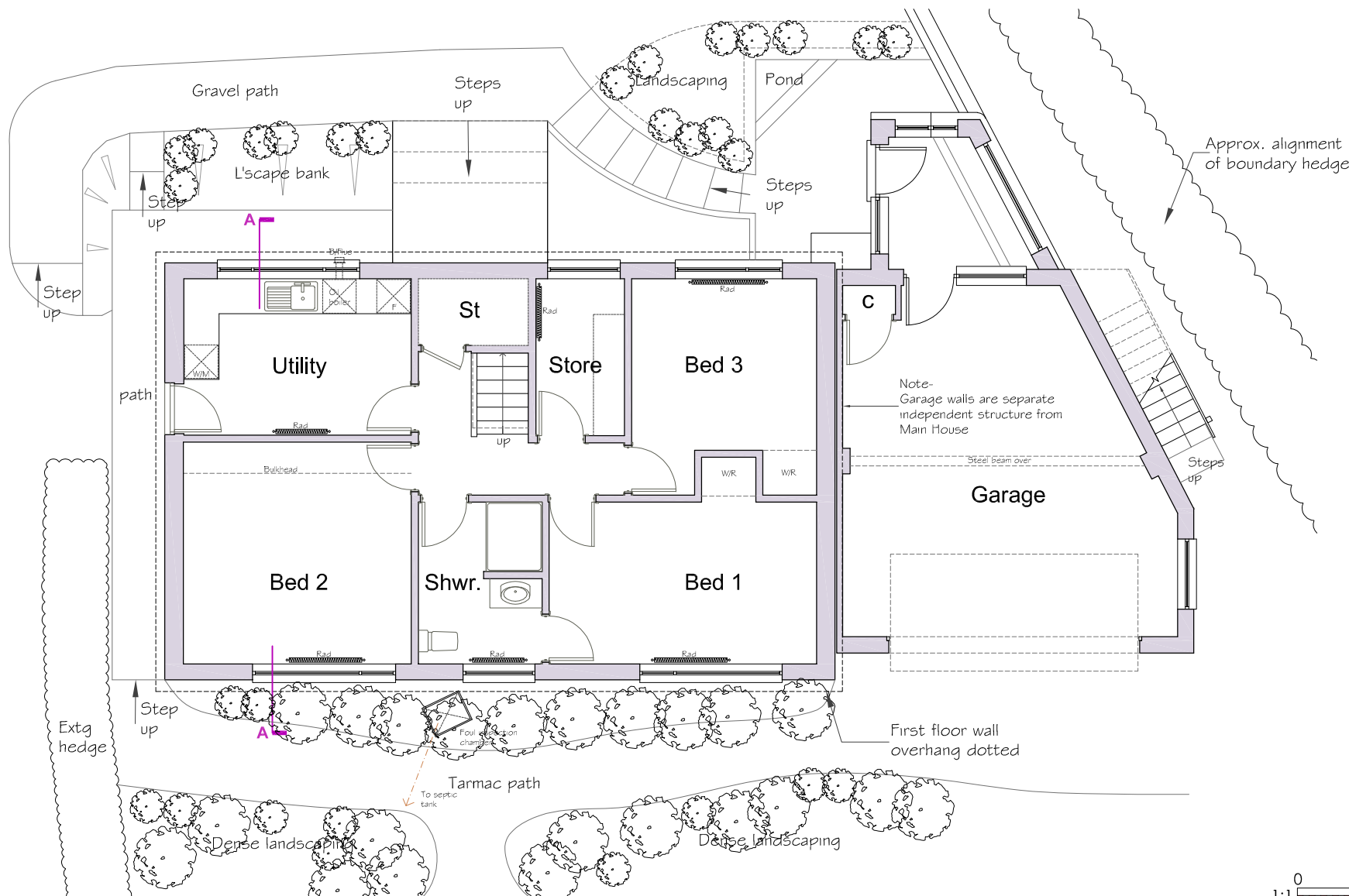
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FIRST FLOOR PLAN



SECTION A-A



GROUND FLOOR PLAN

# EXISTING FLOOR LAYOUTS / SECTION

**EXISTING HOUSE FLOOR AREAS:**  
 Ground Floor = 71sqm  
 First Floor = 82sqm  
 Total = 153 sqm



A3 ORIGINAL DRAWING SIZE

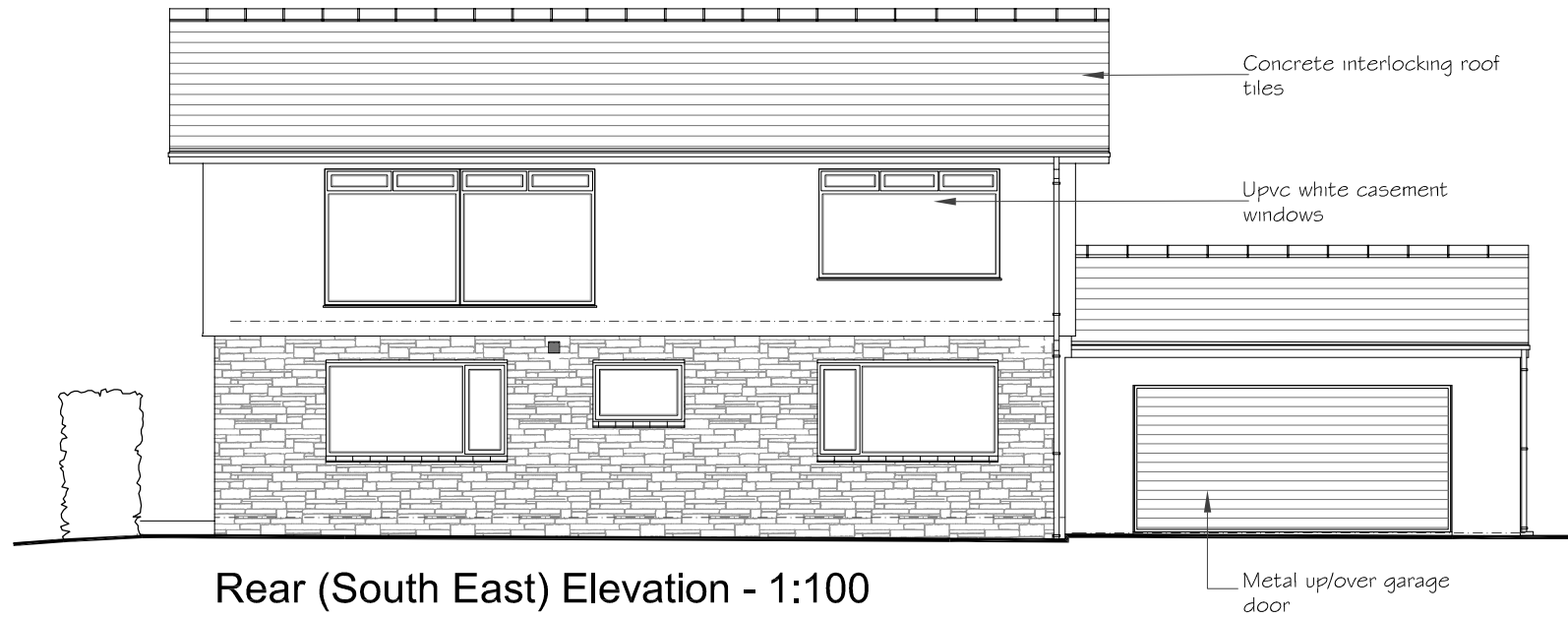
Revision	Description	Date
Drawing EXISTING FLOOR PLANS/SECTION A-A		
Client Mr G. Meopham & Ms. L. Bowden		
Project / Title Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.		
Dwg No. <b>P02</b>	Job No. 1908	Paper A3
Rev.	Drawn PNW	Scale 1:100
Date JUNE 2022		Scale 1:100

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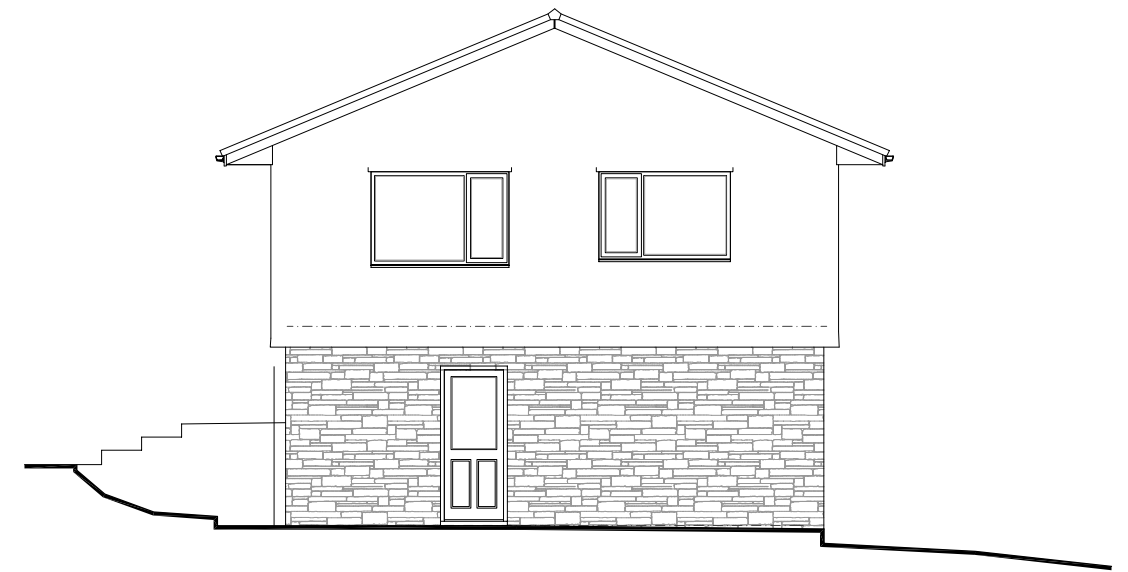
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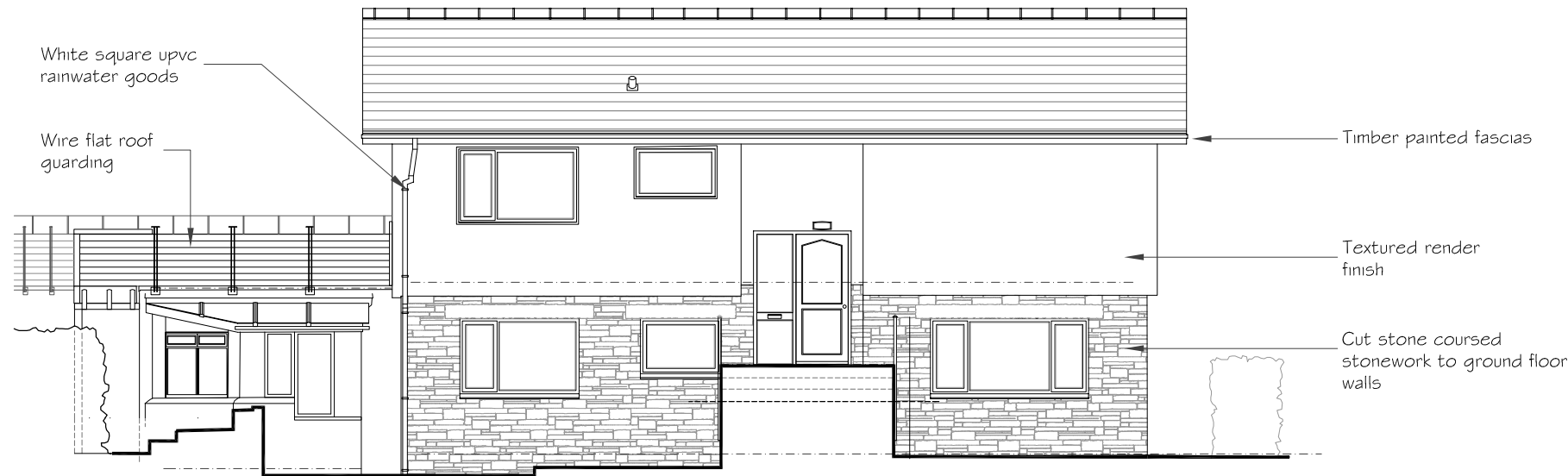
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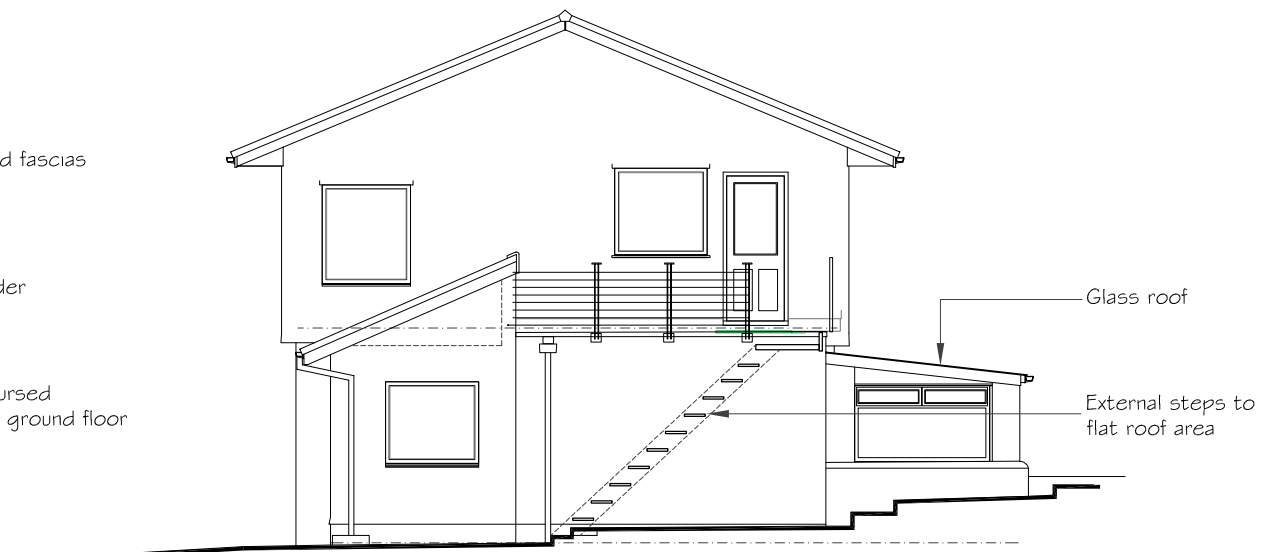
Rear (South East) Elevation - 1:100



Side (South West) Elevation - 1:100

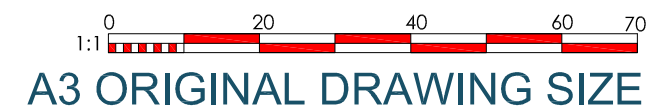


Front (North West) Elevation - 1:100



Side (North East) Elevation - 1:100

# EXISTING ELEVATIONS

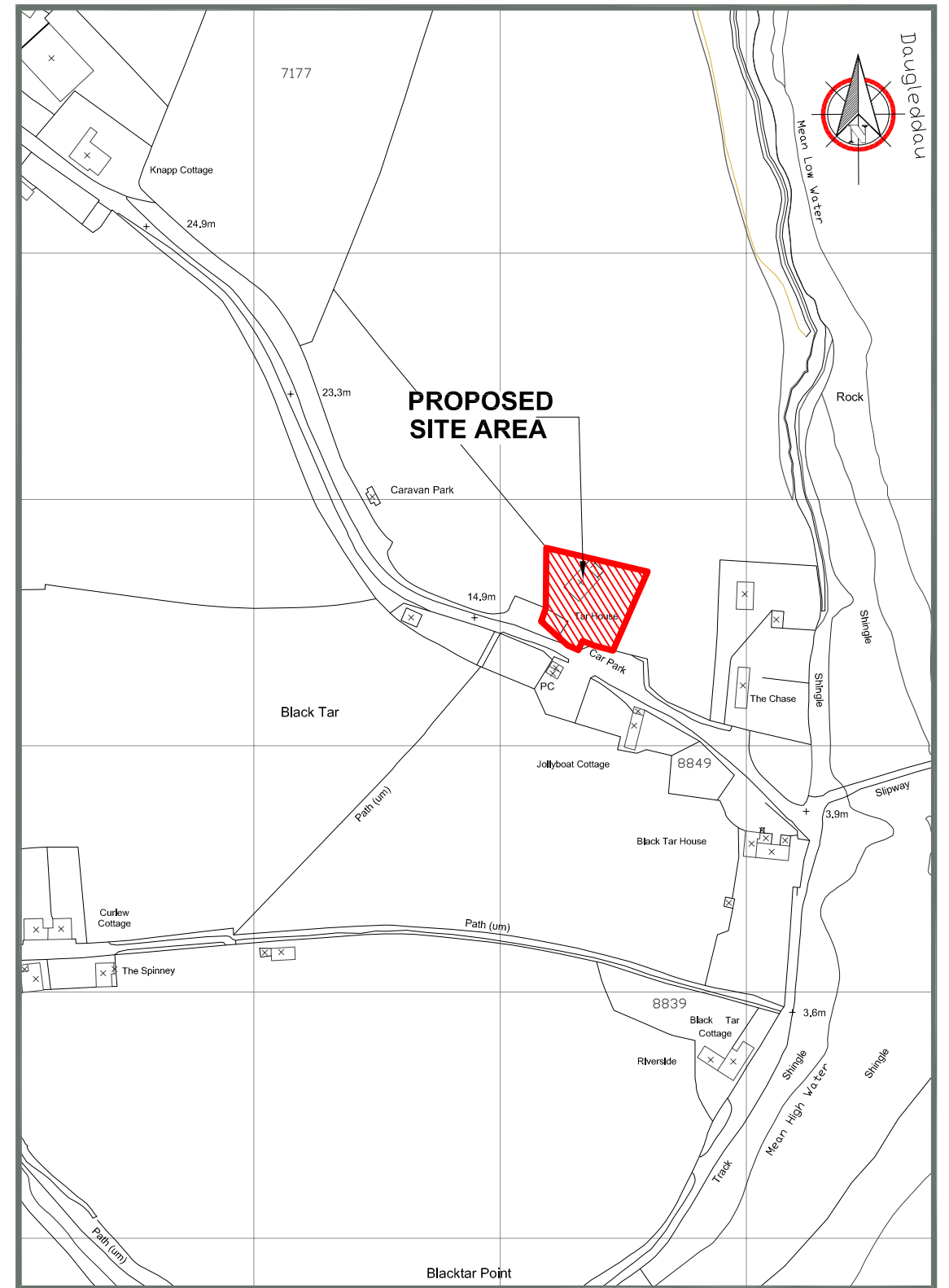
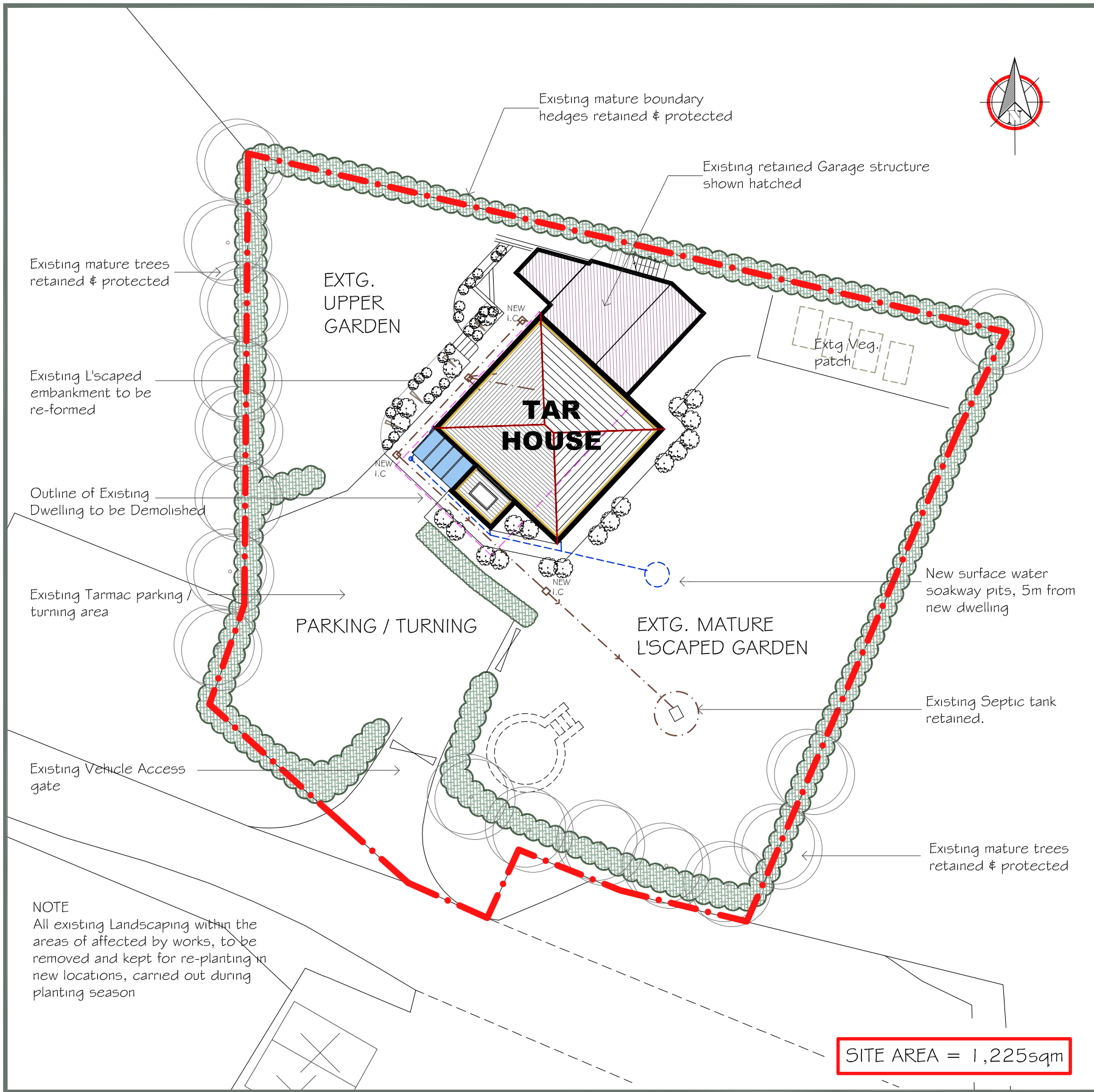


Revision	Description	Date
Drawing EXISTING ELEVATIONS		
Client Mr G. Meopham & Ms. L. Bowden		
Project / Title Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.		
Dwg No. <b>P03</b>	Job No. 1908	Paper A3
Rev.	Scale 1:100	Date JUNE 2021

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# LOCATION PLAN / PROPOSED SITE PLAN

0 20 40 60 70  
1:1  
A3 ORIGINAL DRAWING SIZE

Revision	Description	Date
Drawing <b>PROPOSED SITE PLAN</b>		
Client Mr G. Meopham & Ms. L. Bowden		
Project / Title Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.		
Dwg No. <b>P04</b>	Job No. 1908	Paper A3
Rev.	Scale 1:2500 / 250	Date JUNE 2022

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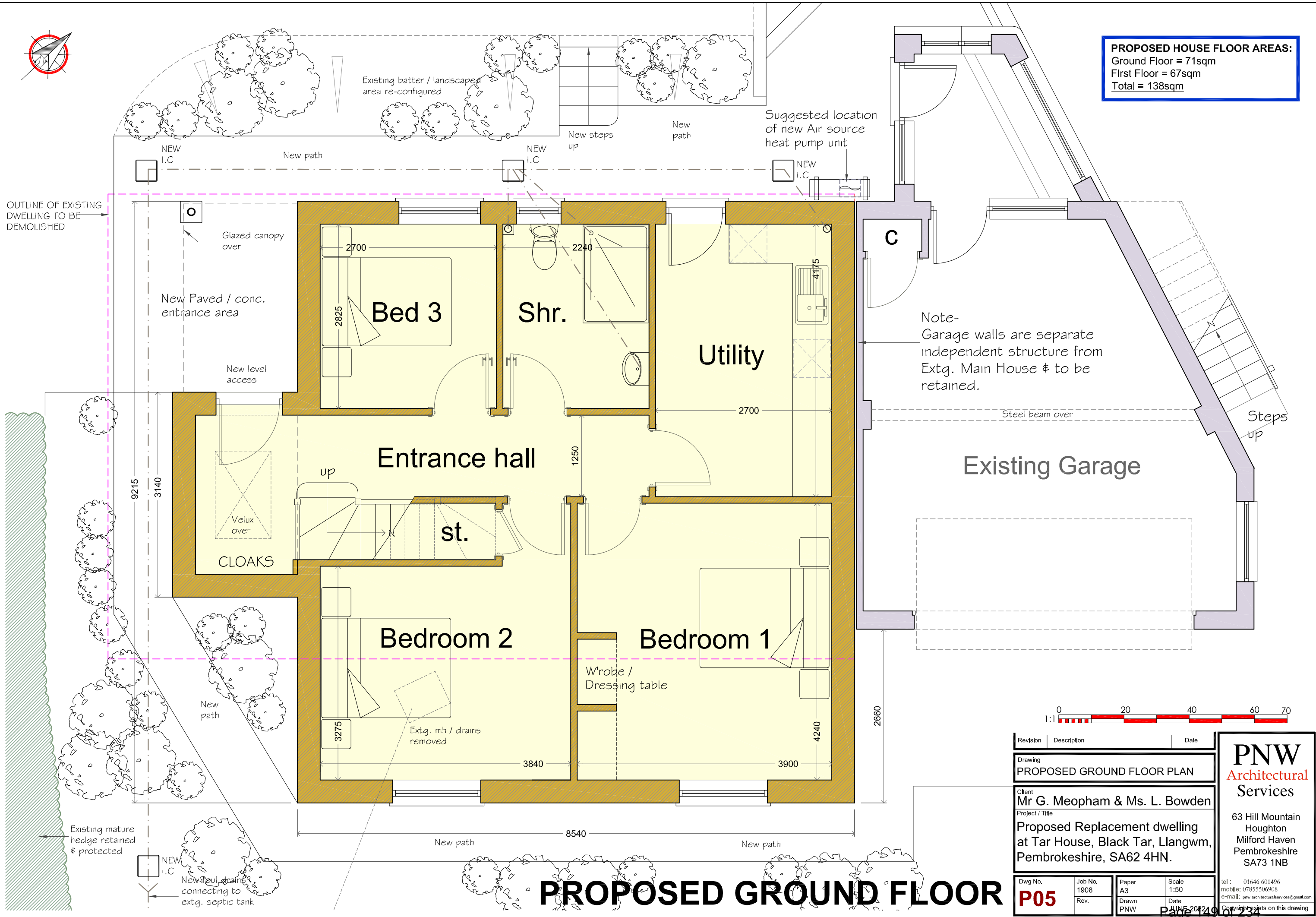
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**PROPOSED HOUSE FLOOR AREAS:**  
 Ground Floor = 71sqm  
 First Floor = 67sqm  
 Total = 138sqm

OUTLINE OF EXISTING DWELLING TO BE DEMOLISHED



Note -  
 Garage walls are separate independent structure from Extg. Main House & to be retained.

Existing Garage

**PROPOSED GROUND FLOOR**

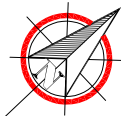
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Drawing PROPOSED GROUND FLOOR PLAN		
Client Mr G. Meopham & Ms. L. Bowden		
Project / Title Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.		
Dwg No. <b>P05</b>	Job No. 1908	Paper A3
Rev.	Date	Scale 1:50
PNW		Date JUNE 2022

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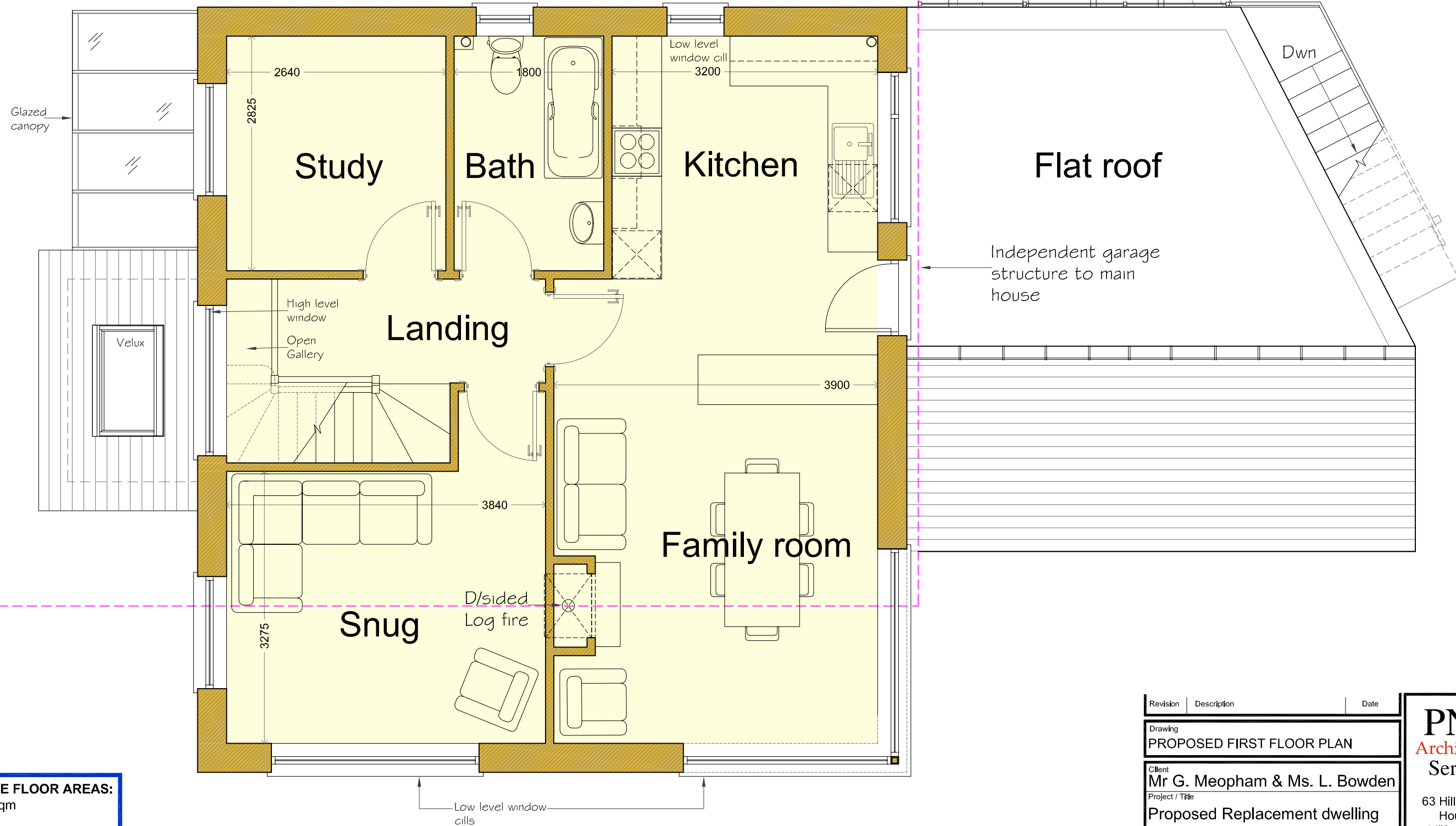
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Outline of extg dwelling



**PROPOSED HOUSE FLOOR AREAS:**  
 Ground Floor = 71sqm  
 First Floor = 67sqm  
 Total = 138sqm

# PROPOSED FIRST FLOOR



A3 ORIGINAL DRAWING SIZE

Revision	Description	Date
Drawing PROPOSED FIRST FLOOR PLAN		
Client Mr G. Meopham & Ms. L. Bowden		
Project / Title Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.		
Dwg No. <b>P06</b>	Job No. 1908	Paper A3
Rev.	Drawn PNW	Scale 1:50
		Date JUNE 2012

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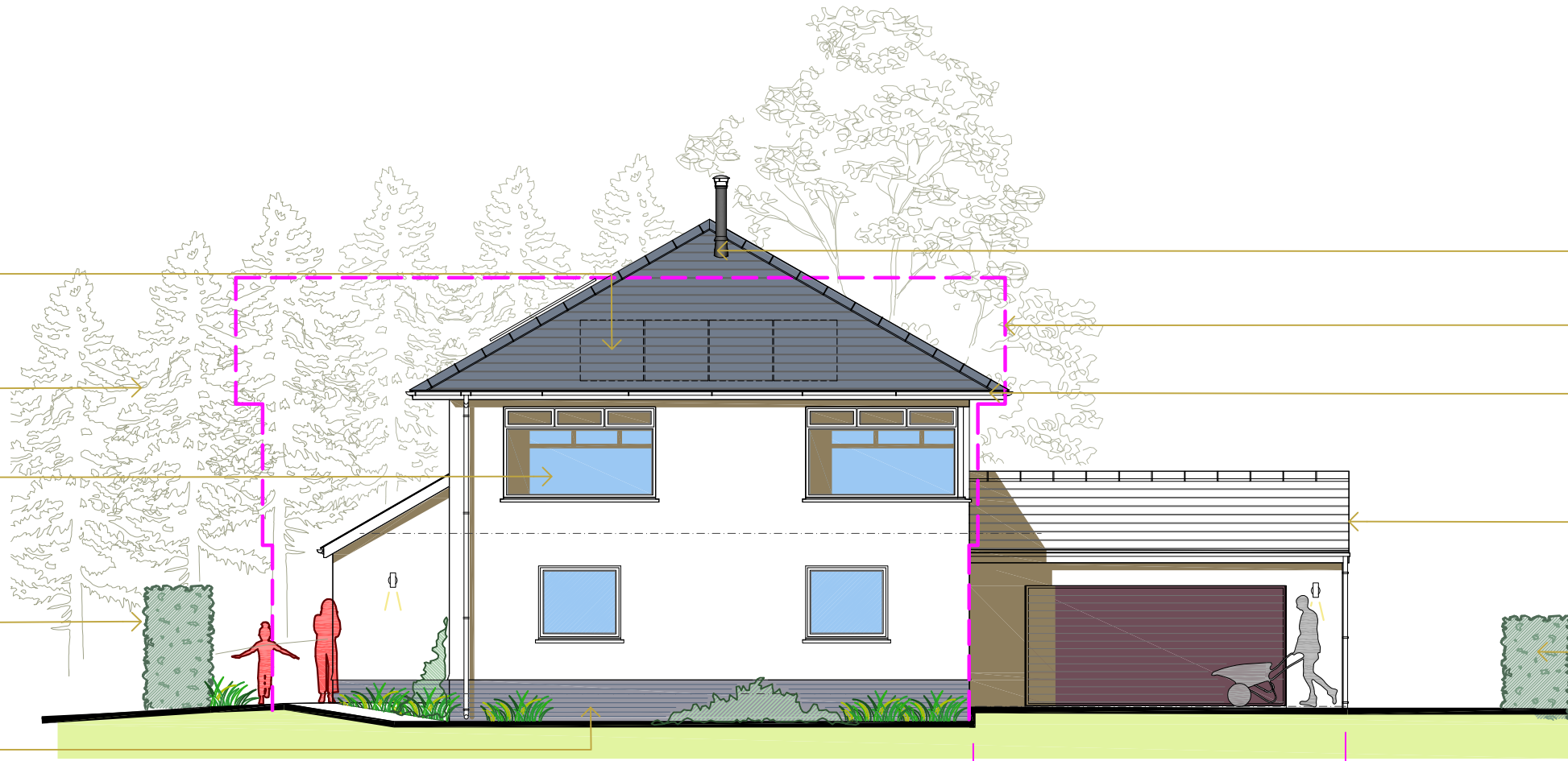
Photovoltaic solar panels-  
Surface mounted Or set-in  
type

Existing mature tree line along  
West boundary

Large feature windows, replicating  
similar sizes of existing dwelling-  
Upvc OR metal windows. White or  
dark grey colour

Existing mature hedge retained  
& protected

Semi-engineering brick plinths-  
blue/black colour or similar  
approved.



Proposed South East Elevation - 1:100

EXISTING INDEPENDENT GARAGE  
STRUCTURE RETAINED

Blue/black natural Interlocking  
concrete slate or composite  
man-made slate roof covering

Outline extent of Existing Dwelling  
to be demolished.

Upvc fascias / soffits / barge  
throughout - White or dark grey  
colour finish

Existing independent Garage  
structure retained.

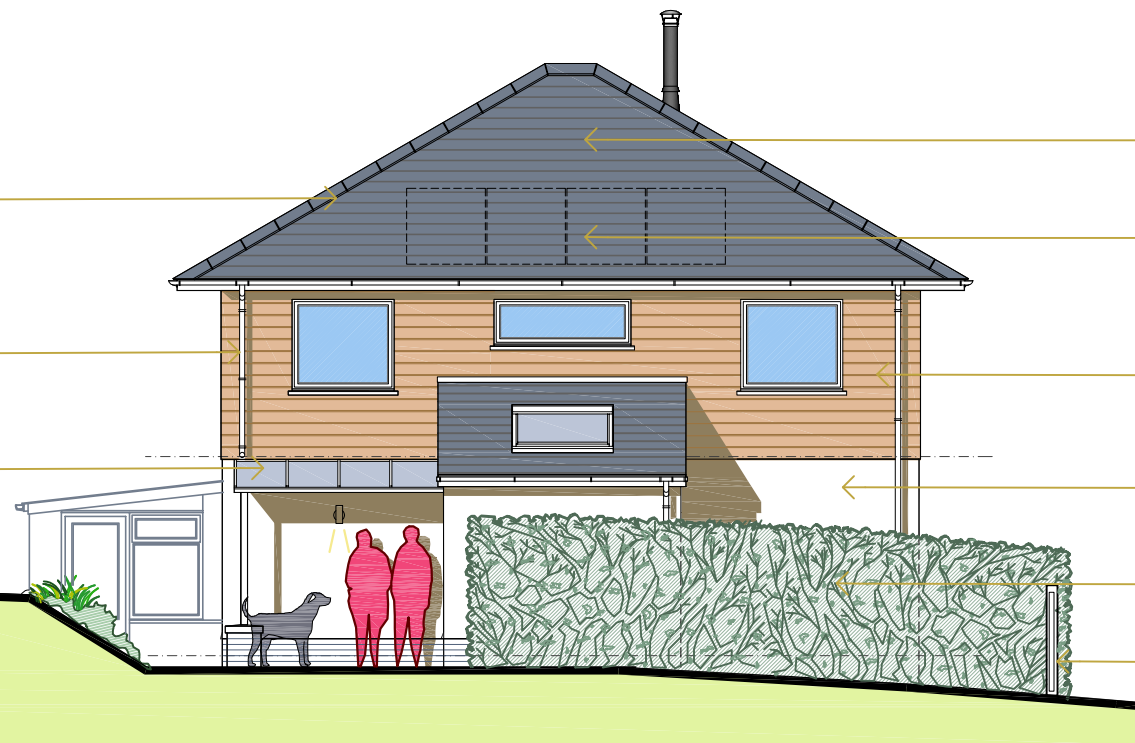
Existing mature boundary  
hedgerow.

Blue/black concrete ridge & hip  
tiles

Upvc rainwater gutters & downpipes  
Black colour

Glazed Entrance canopy roof with  
metal/timber corner support post.

upper terrace garden area



Proposed South West Elevation - 1:100

Blue/black natural Interlocking  
concrete slate or composite  
man-made slate roof covering

Photovoltaic solar panels-  
Surface mounted Or set-in type  
to 2 or 3 roof areas, subject to  
Specialists recommendations

Horizontal cedar cladding.

S/cmt. render finish, where  
indicated - Smooth OR texture  
finish, with masonry paint finish.  
Colour to be agreed.

Existing mature hedge retained  
& protected

Existing gate access to  
garden area.

Revision	Description	Date
Drawing <b>PROPOSED ELEVATIONS</b>		
Client Mr G. Meopham & Ms. L. Bowden		
Project / Title Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.		
Dwg No. <b>P07</b>	Job No. 1908	Paper A3
Rev.	Scale 1:100	Date JUNE 2023

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# PROPOSED ELEVATIONS

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1:1  
A3 ORIGINAL DRAWING SIZE

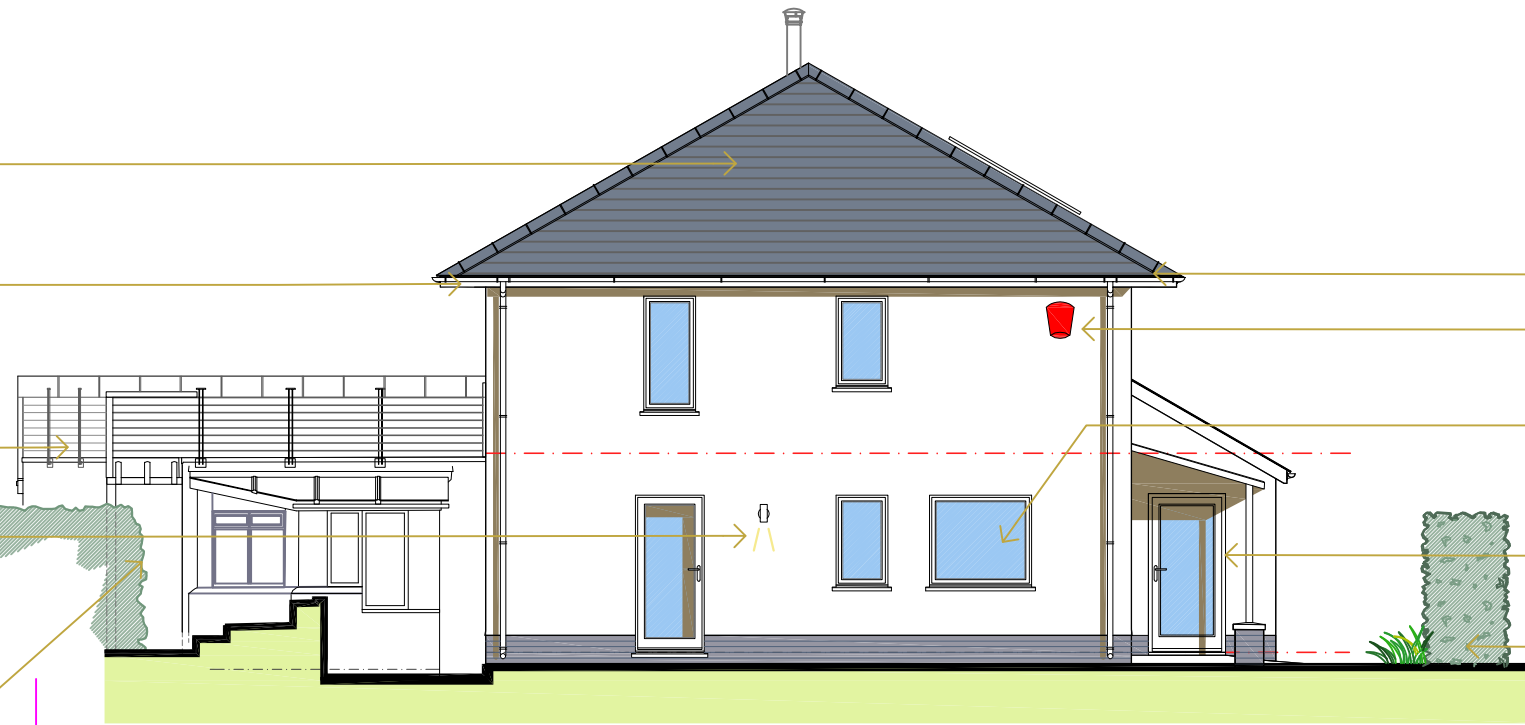
Blue/black natural Interlocking concrete slate or composite man-made slate roof covering

Upvc fascias / soffits / barge throughout - White or dark grey colour finish

Existing independent Garage structure retained.

New external lighting - to be hooded ;downward facing; PIR sensitive LED type bulbs, max 2700kelvin or below (warm light) IP67 rating.

Existing mature boundary hedgerow.



EXISTING INDEPENDENT GARAGE STRUCTURE RETAINED

Proposed North West Elevation - 1:100

Upvc rainwater goods throughout - Black colour

New wall mounted Bat box roost - Ecology enhancements

New upvc high performance double glazed windows - White or dark grey colour

New upvc Or composite high performance double glazed doors- White or dark grey colour

Existing mature boundary hedgerow.

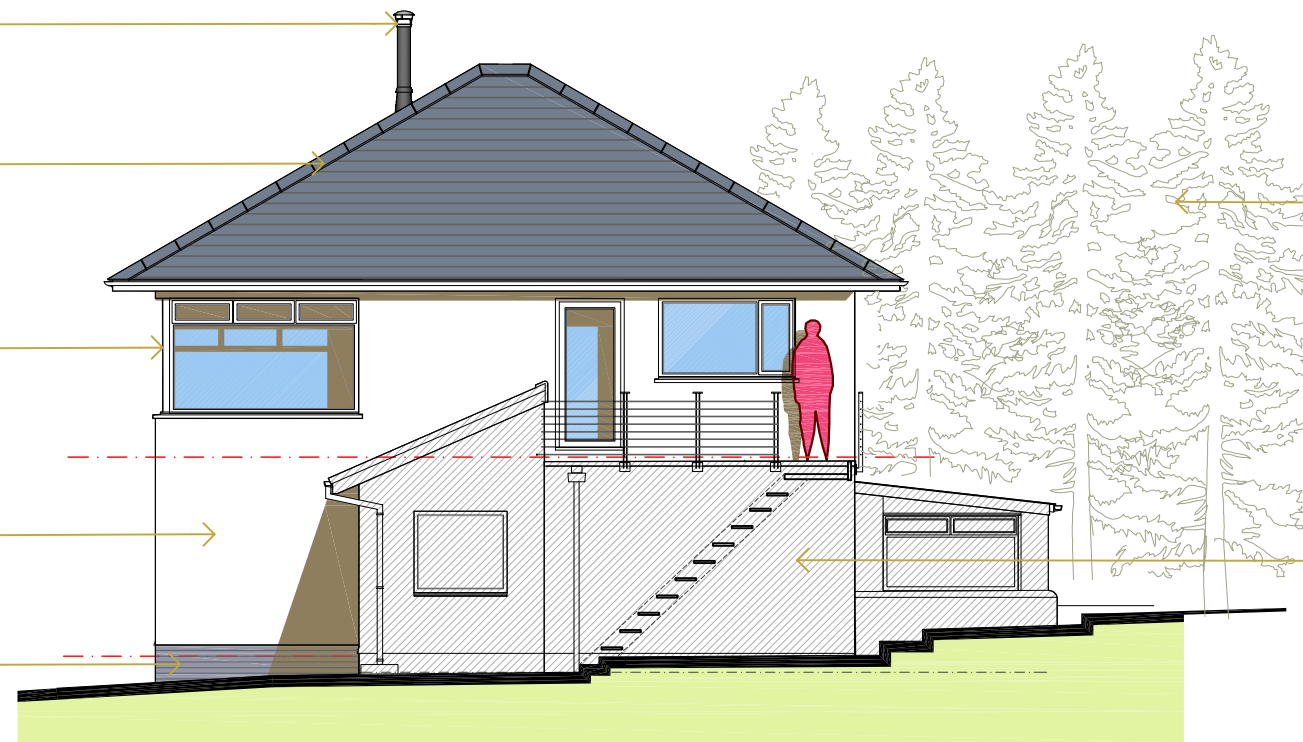
Metal flue terminal-Matt black OR s/steel finish.

Blue/black concrete ridge tiles

Large feature windows, replicating similar sizes of existing dwelling- Upvc OR metal windows. White or dark grey colour

S/cmt. render finish, where indicated - Smooth OR texture finish, with masonry paint finish. Colour to be agreed.

Semi-engineering brick plinths- blue/black colour or similar approved.




Existing mature tree line along West boundary

Existing independent Garage structure retained.(Indicated shaded)

Proposed North East Elevation - 1:100

**Ecology enhancements.**

 Bat box incorporated high-level Beaumaris woodstone box or similar approved.

Revision	Description	Date
Drawing <b>PROPOSED ELEVATIONS</b>		
Client <b>Mr G. Meopham &amp; Ms. L. Bowden</b>		
Project / Title <b>Proposed Replacement dwelling at Tar House, Black Tar, Llangwm, Pembrokeshire, SA62 4HN.</b>		
Dwg No. <b>P08</b>	Job No. 1908	Paper A3
Rev.	Scale 1:100	Date JUNE 2022

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**PROPOSED ELEVATIONS**

1:1   
A3 ORIGINAL DRAWING SIZE