

PORTCLEW CONSERVATION AREA



APPRAISAL AND MANAGEMENT PLAN

Supplementary Planning Guidance

**Pembrokeshire Coast National Park Local Development
Plan 2**

**Approval Date for Consultation: 15th September 2021
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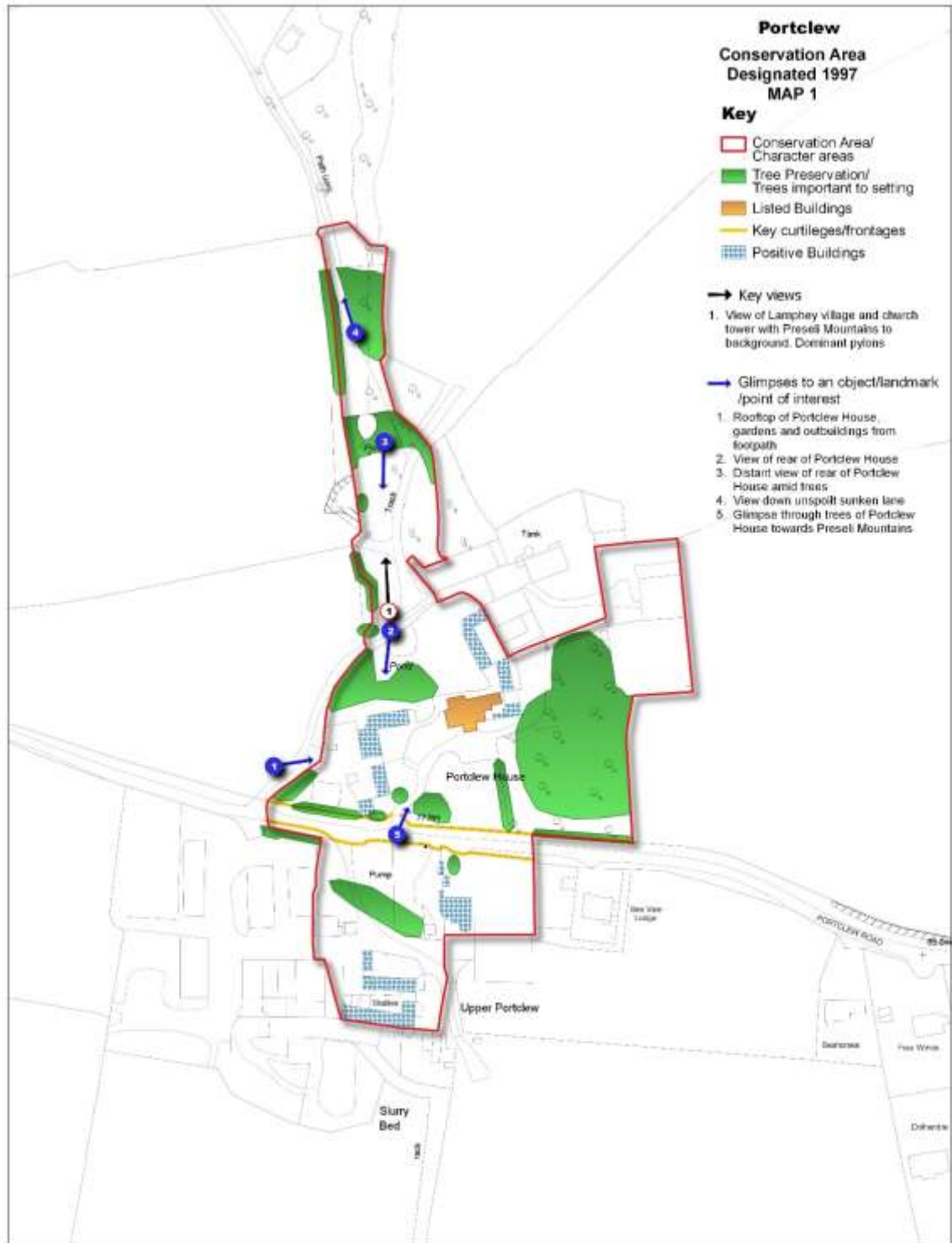
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Introduction

1. The introduction of Conservation Areas resulted from the growing awareness that as well as individual buildings and trees, whole areas could be of interest and value. Conservation Areas. They were introduced in 1967 and now fall under the 1990 Planning (Listed Buildings and Conservation Areas) Act, Local Authorities being required to determine and designate 'areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance' as conservation areas.
2. The majority of Portclew was designated a conservation area in 1997. Once designated, Local Authorities have a duty to protect conservation areas from harmful development, this reflected in the policies contained within the National Park's Local Development Plan. They also have a duty to review boundaries and identify potential measures for enhancing and protecting the conservation area.

See Map 1 overleaf.

3. Over and above the general restrictions on permitted development across the National Park, the consequences of Conservation Area designation include the requirement for consent to demolish certain buildings/boundary features and the requirement to notify the Authority of proposals affecting certain trees.
4. The purpose of a Conservation Area appraisal is to define the qualities of the area that make it worthy of conservation area status. This will provide a sound basis for development control decisions and for improvement/enhancement initiatives. It will also enable the development of a robust policy framework for the future management of the area, on which planning and applications and other proposals for change may be considered.
5. Modest changes to properties within conservation areas can cumulatively erode their character. In some Conservation Areas of the Pembrokeshire Coast National Park, there are extra planning controls over changes to the fronts of houses facing highways and open spaces. These controls are known as Article 4(2) directions, and planning permission is needed to make certain changes
6. This document serves as:-
 - An appraisal of the various features which give Portclew Conservation Area its special architectural and historic interest, the presumption being that they be preserved or enhanced as required by legislation.
 - A management plan setting out proposals which can enhance the character and appearance of Portclew Conservation Area.
7. The relevant stakeholders are drawn from the private and public sectors and this document is intended for use by both.



The Planning Policy Context

8. Appendix A to this Guidance sets out a summary of the national legislation, policy and guidance. Policy 8 Special Qualities of the Local Development Plan 2 provides for the protection of the special qualities of the National Park. This guidance is prepared in support of that policy in particular criterion b) which seeks to ensure the identity and character of towns and villages is not lost.

Historic Development and Archaeology

9. The place-name is thought to derive from the Welsh *porth* (inlet or bay) and *lliw* (the name of the stream running into Freshwater East Bay to the south). An alternative is that the *Porthellau* mentioned in the 1326 Black Book of St Davids is a corruption of *Porth-y-Llan* (church bay). This perhaps refers to the medieval chapel, ruins of which survive to the east of the Conservation Area.
10. The Black Book mentions 17 husbandmen, evidently grazing sheep. The rental from Portclew comprised a large element of the overall return from the parish of Lamphey, indicating a settlement of some note (but encompassing a larger area, including the early twentieth century settlement of Freshwater East).
11. In the early sixteenth century, the manor of Portclew was granted to the Devereux family, passing to the Owens of Orielton in 1683 and the Mathias family in 1822.
12. Within the Conservation Area is no trace of a medieval settlement, the core of which lay to the east, near the chapel. The site of the main property, Portclew House, was owned by the Llewelin family from 1556 to 1826, but the existing house is mid eighteenth century, much remodelled in 1827. Perhaps the remnants of dammed ponds to the north of the house belong to earlier gardens, but the outbuildings to the west and walled gardens to the north-east are all early nineteenth century.
13. Upper Portclew was owned by the Bishop family from 1595-1792, when it passed through marriage to the Parrys, who rebuilt the house, remodelled in the later nineteenth century, the date of the farm buildings (now converted to residential use).
14. The Conservation Area is surrounded by arable fields (post-medieval boundaries), with the settlement of Freshwater East just to the south-east. This grew in the early twentieth century when shacks were built on the burrows mainly as summer houses for the shopkeepers of Pembroke Dock. The settlement much expanded in the later twentieth century.

Character Analysis

15. The general character and plan-form of Portclew is intrinsically linked to its history and development:
 - The small settlement appears to be a fragment of the medieval settlement, Portclew House becoming its focus by the sixteenth century.
 - The Conservation Area lies within a setting of open farmland, the wooded setting of Portclew House providing a prominent landscape feature.
 - The public footpath that partly runs through Portclew was probably the original route from Lamphey, where the parish church was located.
 - The architectural palette is mostly nineteenth century, typically sash windowed and rendered, with simple detail.
 - There is little in the way of distracting modern development.
16. The Conservation Area contains 1 **Listed Building**. This is shown on the Character Area inset map, along with **landmark buildings** and **positive buildings** (key unlisted buildings making a positive contribution to the character of the Conservation Area).



Figure 1 – Grade II Listed Building



Figure 2 – Positive Building

17. The inset maps also identify **key curtilages/frontages** (including walls and railings), **essential open areas** and **important trees/groups of trees**.
18. The Conservation Area is located just north-west of Freshwater East, a small settlement spanning the B4584. To the north side is Portclew House, set within spacious wooded grounds with several outbuildings, whilst to the south is Upper Portclew, its older farm buildings converted to residential use.
19. Despite the largely nineteenth century character of the settlement, it is of high archaeological potential, little having been recorded of the early settlement that once merited a sizeable medieval chapel. One of the historic buildings is **Listed**, with other key unlisted **landmark and positive buildings** identified in terms of their contribution to the landscape.
20. Many boundary walls survive, identified as **key Curtilages/Frontages**. There comprise garden or enclosure walls.
21. The overall impression of the area is a small rural hamlet, on the fringe of the coastal village of Freshwater East. Despite the elevated situation of Portclew and its prominent stand of trees, little can be seen of the Conservation Area until the point of entry. **Key views and glimpses** are identified within the inset map.



Figure 3 - historic ancillary buildings



Figure 4 - glimpse of Portclew House from footpath

22. Within the area, **essential open areas** include the garden enclosures and the wide roadside verge. **Trees/groups of trees** are highly important to the character of the area, especially those within the gardens of Portclew House.



Figure 5 - trees

23. In terms of public realm, the public road is of standard tarmac, the lack pavements, adding some informality. Private roads and tracks are more informal, some metalled, some gravelled.



Figure 6 - traditional curtilage

24. Poles and overhead wires are intrusive within the conservation area, criss-crossing the main road.

25. Negative factors include:

- Traffic management issues including vehicle/pedestrian conflict and lack of car parking.
- Intrusive poles and wires.



Figure 7 - poles and wires

Building Materials

Walls

- Nearly all buildings of local limestone or red sandstone rubble.
- The historic dwellings are rendered and painted (smooth render to Portclew House and Upper Portclew) and roughcast to the old farmhouse at Portclew.
- The farm buildings, many of which are converted to domestic use, are generally of exposed rubble.

Windows

Most historic windows are timber sashes, as follows:-

- Early nineteenth century - typically small-paned hornless sash windows with finely-moulded glazing bars.
- Later nineteenth century - typically four-paned sash windows with horns. Victorian canted bay windows to Upper Portclew.

Doors

- Earlier nineteenth century doors typically six-panelled.
- Later nineteenth century doors typically four-panelled.
- Some historic boarded doors.
- Large canted porch to Portclew House.

Roofs

- Historically of slate at 40° pitch. Mostly pitched, a few are hipped, including Portclew House.
- Historic dwellings have bargeboards/soffits.

Chimneys

- Limestone chimneys to Portclew House.
- Rendered chimneys to Upper Portclew.
- Otherwise, brick chimney stacks with corbelled heads.
- Victorian pots, mostly of louvre-head design.

Boundaries

- Many properties have boundary walls of local limestone.
- Forecourt to Upper Portclew with decorative half-rails.

- Rendered front boundary wall to Portclew House with moulded concrete copings.

Landscape and Seascape Setting

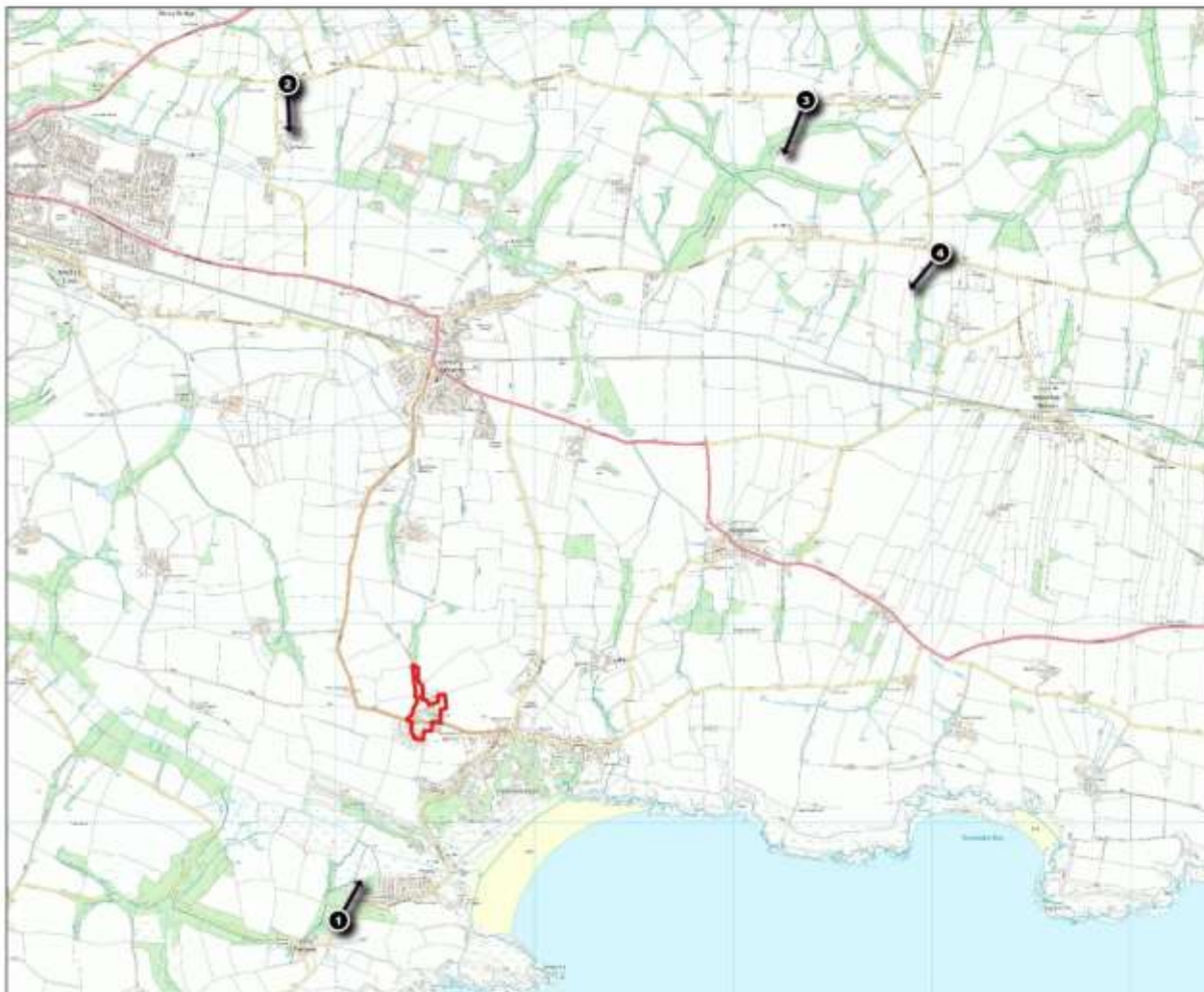
26. Portclew is surrounded by improved pastureland, divided by low hedgebanks. The large mature trees within the grounds of Portclew House provide a landmark visible for miles around. The views from Trewent Hill take in the coastal slopes of nearby Freshwater East, its beach just 1 km or so to the south-east.
27. The **prominent views** into the Conservation Area are gained from the south-west (Trewent Hill) and the north (Dill Road and the Ridgeway).

Map 2 overleaf summarises the prominent views into the conservation area.

28. From within the Conservation Area itself are a number of **key views**, set out in within the Character Area inset maps. Also shown on the inset maps are **key glimpses** from within the Conservation Area towards objects/landmarks/points of interest. These range from 'framed' views, such as looking towards the rear of Portclew House and views towards the Preseli Mountains.

Portclew

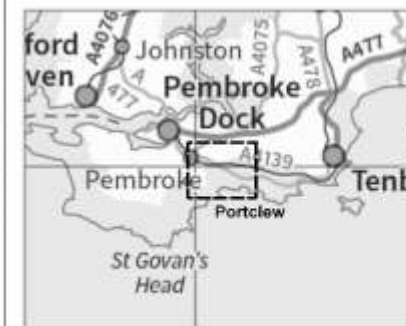
Prominent views into Conservation Area



Portclew Conservation Area Designated 1997 MAP 2

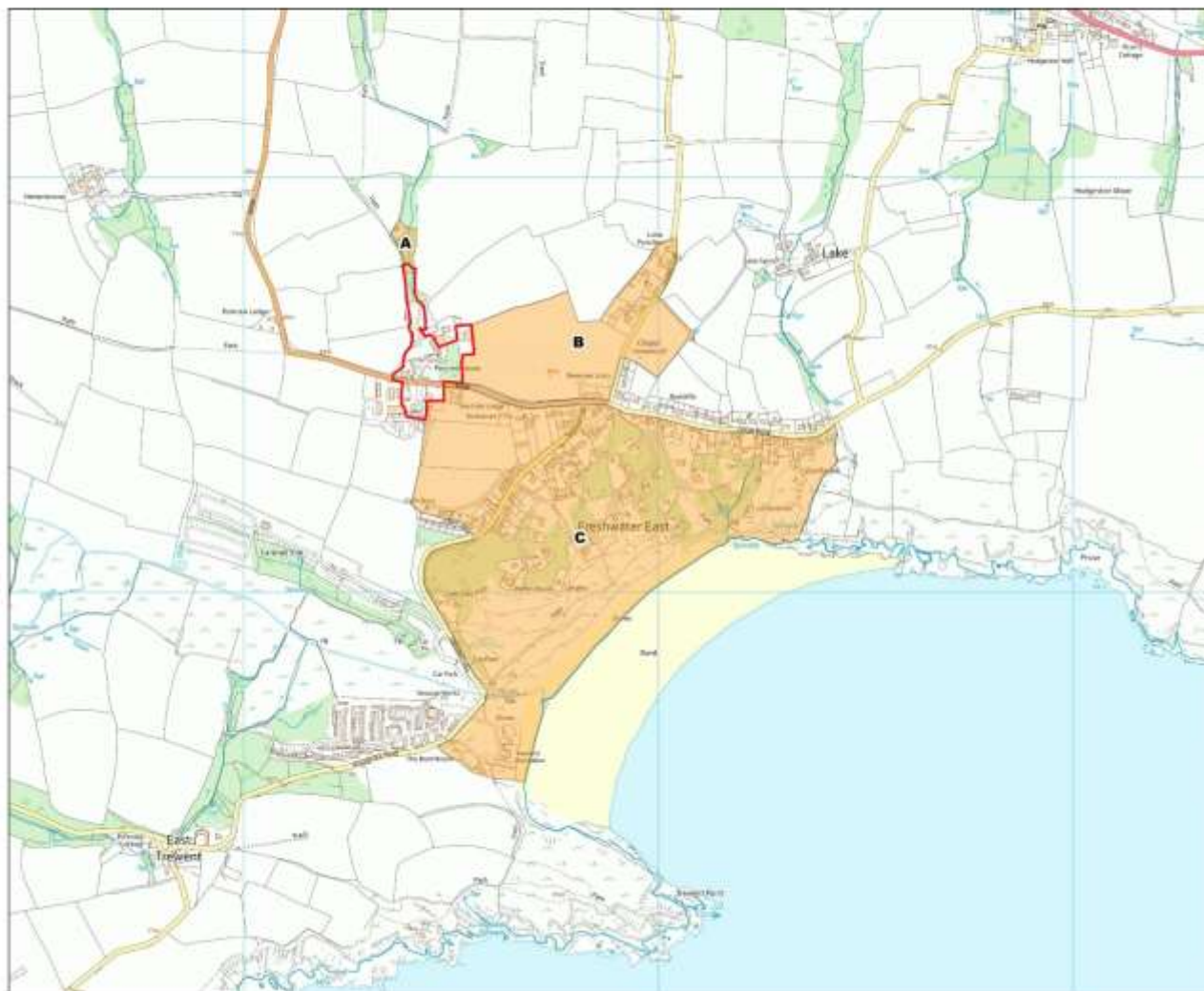
1. View from Theent Hill showing rear of Upper Portclew Farmhouse, farm buildings and trees
2. View of Conservation Area from the Dell Road near entrance to Bee Hall. Group of trees prominently visible on horizon
3. View of Portclew from South Hills showing prominent group of trees on horizon
4. View of Portclew from the Ridgeway near 'The Owm' showing prominent group of trees on horizon

0 500 1,000 1,500 m



Portclew

Outlying areas important to the setting and character of the Conservation Area



Portclew Conservation Area Designated 1997 MAP 3

- A. Continuation of attractive and historic sunken lane, including northern portion of stream valley. Historic cottage amid copse of trees.
- B. Little Portclew forms part of the historic settlement of Portclew and comprises of an unspoilt traditional farmstead. Medieval Portclew Chapel is of architectural and historic importance. Other properties include Little Portclew Cottage and Little Portclew Farm.
- C. Freshwater East Village (The Burrows). Early C20 settlement associated with the Mathias family of Lamphey Court. Some original bungalows survive amid the shrub-clad burrows, with breathtaking sea views. Earlier settlement indicated by presence of earthwork.

Local Guidance and Management Proposals

29. Inappropriate modern alterations can adversely affect the appearance of building elevations and can also be physically damaging to historic fabric. Important original features threatened by such alterations include shop fronts, timber sash windows, doors and door cases, cast iron handrails, railings, rainwater goods, and chimney pots and stacks. It is important, therefore, that property owners and occupiers adopt the right approach to repairs and the replacement of these features. The accumulation of small details in the streetscape is integral to its character and special care is needed to conserve them.
30. Proposed works should involve assessing each site and building in terms of its contribution to the character and appearance of the Conservation Area, its historic value, form of construction and technical performance, including the presence of defects or any other threats to the survival of its fabric. Expert advice should be sought on all major projects, preferably from an architect, building surveyor or planner who is experienced in working within the historic environment. Even the simplest of operations should be based on an understanding of how a particular building 'works', in itself and in relation to its setting. Any work to larger buildings and buildings of exceptional historic value should be based on a comprehensively researched conservation plan, based on Cadw's Conservation Principles for the Sustainable Management of the Historic Environment in Wales <https://cadw.gov.wales/historicenvironment/conservation/conservationprinciples>
31. Conservation Area designation does not prevent change but forms a framework in which the town can develop without losing any of the attributes which make it special.

Listed Buildings and Scheduled Ancient Monuments

32. These are subject to controls under separate legislation. Listed Building control is operated by the National Park Authority, Scheduled Ancient Monument control by Cadw. The listing of buildings includes their exteriors, interiors and historic curtilages (the common myth being that listing only applies to facades).

Maintenance

33. Regular maintenance of a building is the best and most economical way of conserving its fabric. Looking after a building is the responsibility of owners and occupiers. A building that is looked after will retain its value and the need for extensive repairs will be avoided. Protection from water and damp penetration is the most important issue. Roofs, gutters and down pipes should be the first to be repaired. Owners of large buildings might consider creating a maintenance plan based on annual visual inspections and a detailed survey every five years

Day-to-day maintenance

34. Building owners and occupiers should ensure that the following tasks are carried out on a regular basis:

- **Clearing leaves and debris** especially after the autumn with particular focus on gullies and rainwater goods. A period of heavy rainfall is the best time to identify faults.
 - **Controlling plant growth** that can accelerate decay and sometimes cause structural damage. Ivy should be killed by cutting near the ground and allowing it to wither before attempting to remove its roots from the wall. Valerian should be spot-treated.
 - **Looking for insect attack and fungal decay** both of which can be caused by damp penetration and poor ventilation.
 - **Checking ventilation** to ensure that any grilles which ventilate the spaces under floors are not blocked. Lack of ventilation may lead to conditions in which fungal decay can take hold.
35. Regular maintenance should minimise the need for major repairs to all buildings and repair of original features should always be the first option to be evaluated. However, some elements will eventually reach the end of their life, in which case consideration will have to be given to replacing using traditional materials and proven techniques of repair. The alternative is the loss of the historic value of individual buildings and the gradual erosion of the special interest of the Conservation Area. The purpose of the repair of any buildings within the Conservation Area is to prevent, or at least slow, the process of decay without damaging or altering features which contribute to its historic / architectural importance.
36. *A lack of on-going maintenance can lead to the deterioration of the built fabric if, for example, gutters are missing or roofs leaks are not repaired, with resultant water penetration into the vulnerable parts of the building.*

Roof-scape

37. The roof-scape of an urban area forms the skyline and visual profile of a streetscape and is a very significant part of its identity. The combination of materials, details, form and massing creates the 'hat', which sits above the building and is critical to its character. Although much of the detail may not always be visible from street level, the local topography allows views towards, across and over the roof-scape from different parts of the town. The roof is, by its very nature, a critical part of a building's defence against the elements and, as such, is one of the most significant focal areas for regular maintenance and repair.

Roof Coverings

38. Most properties use natural slate, which should be used for any works of repair or replacement. Ridges, verges and other details should all be bedded in mortar and butt-jointed. Concrete and clay tiles are not appropriate
39. Imported natural slates that match the grey or heather blue colour of the original Welsh slate are cost-effective solution but it is important to source the slates from a reputable source to avoid longer term problems of compatibility when the slates weather. Artificial slate, although sometimes difficult to distinguish from natural material when new, weathers in a different way and will, over time, appear

different from the genuine product. If insulation is introduced into the roof it should be placed at ceiling level, or between the rafters, subject to the provision of adequate ventilation (via eaves gaps, not proprietary vents fitted to the roof slope). Insulation on top of the rafters will raise the profile of the roof causing potential problems of detailing at the eaves and where it abuts adjacent buildings. However, the introduction of high levels of insulation into older buildings can cause condensation and consequent decay.

Rooflights and dormers

40. Where loft spaces are converted and roof lights or dormers are a necessity, they should usually be situated on rear elevations as they break up the plane of the continuous roof slope on the street side. New dormer windows, where no previous dormers existed, should be avoided where possible, as they have a detrimental impact on the roof profile, scale and balance of the building's form and massing. Where original dormers exist, any changes to the proportions and overall size should also be avoided. Consideration should be given to using modern versions of early cast-iron roof lights (to the correct proportion and size, complete with a vertical glazing bar) to retain the character of the roof as much as possible. Many window manufacturers have special double-glazed Conservation Rooflights, which are designed to sit within the plane of the roof.

Chimneys and Chimney Pots

41. Chimney stacks and pots add to the interest and variety of the skyline and streetscape. Chimneys should be retained and repaired with new matching clay pots provided as necessary. Where an original stack has been reduced in height, then it should be rebuilt to its original height. Where no evidence of the pattern of the original stack exists, the style should be based on the local style, typically with over-sailing corbelled courses at the head. Most chimney stacks are of red brick, but whatever the materials, the original construction should be followed.

Solar Water and Photovoltaic Panels

42. The need to promote energy efficiency will be balanced against the need to protect the character and appearance of the area when dealing with proposals for solar panels in Conservation Areas. Due to sensitivity of the Conservation Area to modern alternations, careful consideration will need to be given to the siting and design of the panels.
43. Notwithstanding prevailing householder permitted development rights, the installation of microgeneration equipment on the principal elevations of buildings or in prominent locations within Conservation Areas will require careful consideration. Alternative locations at the rear of buildings, on subsidiary outbuildings or ground-mounted, where the panels would not be visible from the highway, should be considered. They should not project more than 200mm from the roof or wall surface. Solar slates along with an increasing number of 'heritage range' products are available.

44. The panels themselves should be of a dark colour and the framing should be in matt black or grey. Standard light-coloured blue panels with reflective light grey framing should be avoided.

Guttering and downpipes

45. Consideration should be given to using traditional cast iron (or cast aluminium) gutters when restoring heritage buildings. Simple half-round gutters should always be used on earlier buildings. Half-round and ogee pattern gutters are suitable for later buildings. Cheaper uPVC materials are not as robust as cast-iron or cast aluminium and are more susceptible to impact and weather damage, as well as warping, sometimes affecting the gradient and natural fall of gutters with consequent risk of leaks and water penetration into the building's fabric. Higher quality uPVC may be suitable in a modern context or to lesser elevations.

Windows and glazing

46. Windows are the 'eyes' of a building and are the central focus of its character. The double-hung sliding sash window is predominant within the Conservation Area. Changes to the proportions of window openings and / or windows themselves invariably have a detrimental impact on the building facade as a whole. The incorporation of trickle vents should be avoided, due to their detrimental impact on overall character.
47. Original sash windows should always be retained and repaired, unless completely unfeasible. Replacement is very rarely necessary. Decay normally occurs in and around the sills, where new timber can be spliced in. The original crown or cylinder glass is thinner and more uneven in surface than modern float glass giving more subtle reflections and where it has survived, should always be retained. Heavier modern glass is likely to require heavier sash weights to counter-balance the window. Where the window has to be replaced, rather than repaired, the new window should be in timber and an exact match of the original. Where double-glazing is possible, the sealed units must be traditionally rebated and of slim specification so as to permit traditionally slim joinery details. Original slate sills should be retained wherever possible.
48. The removal of unsympathetic windows that are not original to the building is encouraged, with replacements to replicate the historic type and pattern. Where the original windows have been inappropriately replaced, windows of non-traditional materials replicating the original design will be favourably considered, subject to agreement on the detailed specification. Planning permission will be required within the Article 4(2) area.
49. Where householders wish to replicate existing non-traditional windows, planning permission will not be required providing that the windows pre-date the designation of the conservation area and exact replicas are proposed.
50. Where the original or historic windows survive and are capable of repair and upgrading, planning permission will not be given for replacement in other materials within the Article 4(2) area.

Doors

51. Many of the issues that are relevant to windows and glazing are also applicable to doors. Where possible, traditional timber doors should be retained and repaired. Replacements, where necessary, should reinstate the original door style if known, or be in keeping with the period of original construction. Whilst traditional door patterns are, on the whole, more varied than windows there are some general principles that apply. Front doors were not generally glazed, where they have fanlights above, although later Victorian and Edwardian properties often had upper panels added or replaced by frosted and / or decorated glass. Fanlights, door cases and other ancillary features must always be preserved, repaired and maintained. The design and style of the ironmongery is also important and should match the design and style of the original door. External lever handles should be avoided.
52. Within the Article 4(2) area, planning permission is not required for the repair or exact replacement of a historic door and where householders wish to replicate existing non-traditional doors, planning permission will not be required providing that the doors pre-date the designation of the Conservation Area and exact replicas are proposed

Porches and canopies

53. These should reflect local traditions of simplicity and utility, with either flat, bracketed canopies or lean-to roofs on supports. More ornate door cases should be carefully repaired or restored.

Access for the disabled

54. It is necessary to provide access for the disabled, to conform with accessibility legislation. It is always important to ensure that the regulations and supporting guidance are correctly interpreted for Listed Buildings and Conservation Areas. Where works of this nature are applied they should be done sensitively and with regard to the overarching principles of proportions, design, materials and workmanship that apply for the building as a whole

Pointing and wall finishes

55. Lime mortar is preferable to hard cement mortars on repairs and extensions to historic buildings and pointing of stone and brick, on repairs and new-build, should follow traditional details, with flush, recessed or double-struck joints, ensuring that mortar does not extend over the surrounding brick or stonework. Existing lime mortar should always be replaced by the same material and advice on composition or techniques should be sought from the Authority's Building Conservation Officer. The employment of render is acceptable in most cases, with

a preference for smooth finishes – lime- based render should be used for historic building repairs or extensions, finished in pastel colours.

56. Slate-hanging is a traditional practice for exposed elevations (also providing the opportunity for insulation when newly constructed). The removal of historic slate hanging is strongly discouraged.

Shop Fronts and Signage

57. The traditional shop front forms a 'frame' for the window display, comprising the fascia above, stall riser below and pilasters to either side. The proportions of each component should form a balanced composition. Entrance to the building may be central or to one side depending on the width of the property. Decorated steps in recessed doorways should be retained and repaired. The fascia should be finished at the top with a cornice moulding and contained on each side by a console or corbel, which acts as the capital to the pilasters. The use of tiles on stall risers will help to repel water and provide for a traditional detail.
58. Existing traditional shop fronts, or surviving components, should be retained and repaired wherever possible. Original features may be concealed beneath later facings. Where shop fronts have been completely lost but photographic evidence of their original design exists, a detailed replica is most appropriate. Where no evidence of the original exists, a modern design that follows the principles of the original 'framing' could be used. Where separate buildings have been combined to form a single unit, each building should have its own distinct frontage to maintain the rhythm and proportions of the streetscape. The same fascia should not be carried across both facades. The window should be sub-divided vertically to maintain proportions characteristic of the building and the context. Lettering and graphic design should be proportional, appropriate to the context and not generic.
59. The National Park Authority will be preparing Supplementary Planning Guidance on shopfront design

Colour

60. Colours are also an important part of the town's overall character. Render should normally be in pastel colours and painted timber should be off-white with strong colours normally reserved for front doors, railings and shop-fronts.

Boundary Walls and Railings

61. Many residential streets and properties retain walled or railed forecourts, which are critical to the special character of the conservation area. Particular attention needs to be given to ensuring that boundary walls and railings are not removed to allow parking and are not inappropriately replaced.
62. Ironwork should generally be painted in dark colours or to match the 'livery' of the house. The ubiquitous 'heritage black and gold' is best avoided.

63. Front gardens are an important local amenity. They enrich the Conservation Area visually and can provide sustainable drainage.

New Development within the Conservation Area

64. Generally, where new development and / or extensions are proposed it is important that they are guided by sound design principles, as well as sympathetic detailing in relation to its historic context. It is particularly important to avoid standardized solutions whether in a domestic or commercial context. All forms of new development within the conservation area should:
- Preserve and reinforce the 'local distinctiveness' and character of the conservation area, including street patterns, open spaces and trees, plot boundaries and boundary treatments;
 - Have regard for existing building lines and the orientation of existing development;
 - Respond to the particular rhythm and articulation of the subdivision of the street scape and individual buildings in terms of bays and openings that break up the façade;
 - Reinforce the distinctive character and grain of the particular character area of the conservation area, through an informed understanding of its building forms and styles, features and materials.;
 - Respect the scale and massing of surrounding buildings. It is essential that new development is not out of scale with existing buildings by way of its height, floor levels, size of windows and doors, overall massing and roof scape;
 - Maintain key views and vistas within, into and out of the Conservation Area; and
 - Where possible, minimise the visual impact of parked vehicles and the provision of parking areas on the streetscape and landscape setting of historic streets and buildings
65. Where new development is proposed for areas that are adjacent to, rather than within, the Conservation Area, it will be equally important to have care and consideration for the impact of the intended scheme on the setting of the conservation area. Where appropriate, all forms of new development should respect the principles listed above, with particular concern to:
- Ensure new development continues the local scale, form and materials in order to reinforce the distinctive architectural character of the immediate context;
 - Consider the impact of new development on key views and vistas;
66. Good quality, contemporary designs may be appropriate in the conservation area, but the concern must be to avoid incongruous and low grade, brash and ostentatious development
67. The Town and Country Planning (Development Management Procedure) (Wales) Order 2016 requires applications for certain types of development to be accompanied by a design and access statement. This includes all major

development, and in respect of development in Conservation Areas, developments for one or more dwellings or for provision of buildings with floorspace of 100 square metres or more. Further detailed guidance on Design and Access Statements is found in the Welsh Government/Design Commission for Wales document [Design and Access Statements in Wales: Why, What and How](#)

68. The Historic Environment (Wales) Act 2016 requires certain applications (Listed Building Consent and Conservation Area Consent) to be accompanied by a Heritage Impact Statement (HIS). This aims to ensure that the significance of the historic asset is taken into account when developing and designing proposals. The HIS is informed by the process of undertaking a Heritage Impact Assessment (HIA), which is aimed at assisting with the design of appropriate development by assessing the impact on significance. Further detailed guidance on the HIA process is provided in CADW's best practice guidance – [Heritage Impact Assessment in Wales](#)

Demolition

69. Conservation Area Consent is required for the demolition of a the demolition of a building with a total cubic content exceeding 115 cubic metres and the demolition of a built boundary feature that is more than one metre high where abutting a highway, waterway or open space, or more than two metres high in any other case. There should be a general presumption in favour of retaining buildings which make a positive contribution to the character and appearance of the conservation area.
70. Demolition of a listed building (or any part of it) without listed building consent is a criminal offence.

Satellite Dishes and Antennae.

71. Such installations are not permitted development if they lie on a chimney, wall or roof-slope which faces both onto and is visible from a highway. Applications relating to the provision of dishes/antennae in such locations will be resisted.

Highway Design Standards

72. These are very important determinants of design excellence and sensitivity in historic areas. The Highway Authority is encouraged to continue to work with the NPA and Town Council to maximize the considered use of design standards, to be flexible where appropriate and to use the most appropriate materials and finishes where financial resources permit. This applies to conservation areas and their settings.

Public Realm

73. While the conservation and enhancement of private properties within the conservation area are important, public areas and features (poles, cables, signage, benches, bins, lighting etc) have significant effects on the special qualities of the area. In working with the relevant agencies, attention will be drawn to the special qualities of the conservation area in the provision of appropriate infrastructure.

Essential Open Areas

74. Several areas are highlighted as such within the appraisal, such areas including small private and public gardens, the old and new cemeteries and the harbour area. The spaces between buildings are critical to their setting, as well as to public wellbeing. Opportunity for development in these areas is generally limited and will be resisted unless it can be demonstrated that there is no adverse impact on the character of the conservation area. Some areas offer the opportunity for enhancement

Trees and Hedgerows

75. Local planning authorities have the power to protect trees, hedgerows and woodlands by making tree preservation orders. In addition, there is a special provision for trees in conservation areas which are not the subject of tree preservation orders. Anyone proposing to cut down, top or lop a tree in a conservation area is required to give the local planning authority six weeks' notice, during which time the local planning authority can decide whether to protect that tree with a tree preservation order.
76. When considering whether to extend protection to trees in conservation areas, local planning authorities should always take into account the visual, historic and amenity contribution of trees. In some instances, new or re-plantings may be desirable where this would be consistent with the character or appearance of the area.

Management and Enforcement

77. The National Park Authority (NPA) has existing planning powers to remedy such matters as the poor condition of land and buildings, urgent works and repairs notices for listed buildings and unlisted buildings and structures. The Town and Country Planning (General Development Order) 1995 (as amended) provides permitted development rights for minor building works on residential properties, with some restrictions in conservation areas. By the use of an 'Article 4(2) Direction', permitted development rights may be further restricted, for residential developments. A direction is currently in force across Character Areas 1 and 2.
78. The Conservation Area is surveyed on a three-yearly basis to establish whether there is a real and specific threat to the character of the Conservation Area, whether an Article 4(2) Direction is necessary across the whole Conservation Area, and how effective the provisions of this document are.

Appendix A: National legislation, policy and guidance

1. Conservation Areas are defined under sections 91 (with reference to section 69) of the [Planning \(Listed Buildings and Conservation Areas\) Act 1990](#) as:
2. *“areas of special architectural or historic interest the character and appearance of which it is desirable to preserve or enhance”.*
3. Section 69 of the Act, requires Local Planning Authorities to identify these areas, and under section 71 of the Act, from time to time, to formulate and publish proposals for the preservation and enhancement of these areas. Section 72 of the Act places a general duty on Local Planning Authorities to pay *‘special attention to the desirability of preserving or enhancing the character or appearance of that area.’*
4. Section 74 of the Act controls demolition in Conservation Areas by requiring Conservation Area Consent from the Local Planning Authority for the demolition of buildings within Conservation Areas subject to certain exemptions made under section 75 of the Act. This requirement does not apply to listed buildings, Scheduled Ancient Monuments (SAMs) or to demolition of ecclesiastical buildings in use for ecclesiastical purposes, as such works are subject to controls under separate legislation.
5. The [Historic Environment \(Wales\) Act 2016](#) makes changes to legislation relating to the protection and management of the historic environment in Wales. It introduces measures for the positive management of change to the historic environment, such as requiring all applications for Listed Building Consent and for Conservation Area Consent to be accompanied by Heritage Impact Statements (see section 6). It also places a duty on the Welsh Government to compile and keep up-to-date a Historic Environment Record.
6. [Planning Policy Wales \(PPW\) \(11th Edition\)](#) contains national planning guidance that recognises Conservation Areas as historic assets and acknowledges the need for the planning system to protect, conserve and enhance the significance of historic assets, including consideration of their settings. The need for decisions to be based on an understanding of the impact of a proposal on the significance of an historic asset is emphasised. It explains that *the protection, conservation and enhancement of historic assets is most effective...when designing new proposals.*
7. The Welsh Government’s objectives in respect of Conservation Areas is to *preserve or enhance their character and appearance, whilst the same time helping them remain vibrant and prosperous.* It refers to the *‘general presumption in favour of the preservation or enhancement of the character or appearance of conservation areas or their settings’* and sets a *‘strong presumption against the granting of planning permission for developments, including advertisements, which damage the character or appearance of a conservation area or its setting to an unacceptable level...’.* This presumption applies unless, in exceptional circumstances, where a development is desirable on the grounds of public

interest. PPW also explains that Conservation Area Character Appraisals and Management Plans can assist in development management functions and that design decisions relating to character should be based on site and context analysis.

8. [Technical Advice Note \(TAN\) 24](#) provides further detailed national planning guidance related to the topic of the historic environment and, in particular, on how the historic environment should be considered through the planning process. The section on Conservation Areas covers aspects including their designation and review, Conservation Area Character Appraisals, Planning in Conservation Areas, Conservation Area Consent, Advertisement Control, Trees, Enforcement and Appeals. Defining the character of each conservation area and setting out policies for preservation and enhancement through Conservation Area Character Appraisals and Management Plans, respectively, are seen as ways of providing a sounder basis for local development plan policies and development management decisions.
9. [Technical Advice Note \(TAN\) 12](#) provides national planning guidance related to design and is aimed at facilitating good design and sustainability through the planning system. It sets out the benefits of using Design and Access Statements as communication tools to outline how the design of the development proposal has been considered from the outset and how objectives of good design have informed this. With regards to the historic environment and Conservation Areas, in particular, it explains that there will be a greater need of direction and advice from the Local Planning Authority on how new development can be accommodated and change managed in areas of special character.
10. CADW has published a suit of best-practice guidance to support the changes to historic environment legislation in Wales. The most relevant of these is [Managing Conservation Areas in Wales](#), which is aimed at ensuring a consistent approach towards designation, appraisal and management of Conservation Areas. With regards to appraisals, they are seen as vital tools for positive management of existing areas. It explains their purpose, the potential for working with local communities, third-sector bodies and archaeological trusts, recording buildings and other elements, sources of information, and includes suggestions on content. Other best-practice guidance on related issues include [Managing Historic Character in Wales](#), [Heritage Impact Assessment in Wales](#) and [Setting of Historic Assets in Wales](#). CADW also published in 2011 [Conservation Principles for the Sustainable Management of the Historic Environment in Wales \(Conservation Principles\)](#)