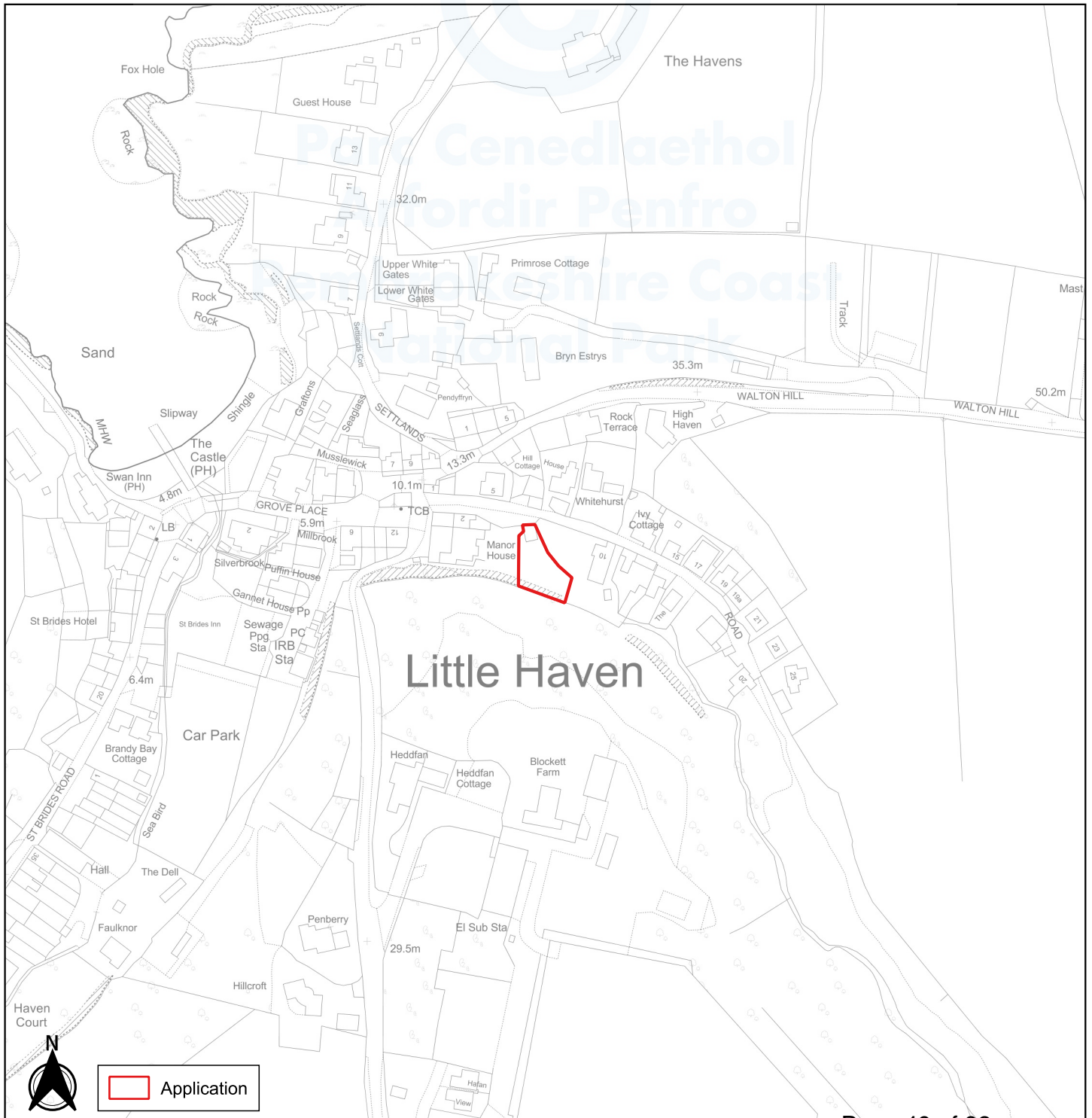
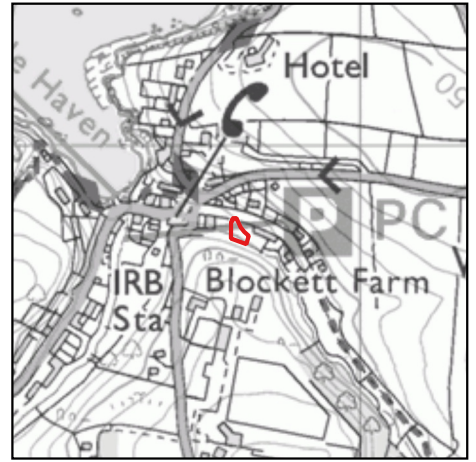


Manor House, 14 Grove Place, Little Haven, Haverfordwest, Pembrokeshire, SA62 3UG



Parc Cenedlaethol
Arfordir Penfro
Pembrokeshire Coast
National Park

Graddfa/Scale: 1:2,500



PEMBROKESHIRE COAST NATIONAL PARK AUTHORITY DELEGATED DECISION REPORT



Ref No: NP/21/0720/FUL

Proposal: Demolition of existing garage and division of rear garden to provide a plot for a new three bedroom home

Site Location: Manor House, 14 Grove Place, Little Haven

Recommendation: Refuse

This application is being presented to the Development Management Committee as the original recommendation for approval was a Committee decision.

Summary:

116. This application was brought to Members for approval in September 2022 and was subject to the receipt of an acceptable S106 agreement to provide for a contribution towards the provision of affordable housing.
117. The original Committee report from September 2022 is appended to this report.
118. Neither a challenge on viability grounds or a suitably signed S106 agreement has been provided to date. Whilst the original report referenced a signed S106, subsequent checks indicated a key party had not signed the agreement.
119. The standard approach of the Authority when requesting delegated powers to approve is to also request delegation to refuse if the S106 is not received within three months, but in this instance that was not included in the original report.
120. Whilst Officers of the Authority are sympathetic to the circumstances of the applicants who have been trying to resolve an issue with a charge on the land, the Authority cannot hold applications live indefinitely and the current application has been with the Authority for a number of years.

The documents for the application can be viewed here: [Citizen Portal Planning - application details](#)

Conclusion

121. Based on there being no mechanism to secure the affordable housing contribution required under Policy 48 (Affordable Housing) and the SPG on Affordable Housing, the application is considered contrary to the requirements of Policy 48 (Affordable Housing) of the Pembrokeshire Coast National Park Local Development Plan 2 and cannot be supported.

Refuse

122. The application is contrary to Policy 48 (Affordable Housing) of the Pembrokeshire Coast National Park Local Development Plan 2 due to there being no mechanism to secure the required affordable housing provision. The proposal is therefore considered contrary to Policy 48 (Affordable Housing) of the Local Development Plan 2, the SPG on affordable housing, and national planning policy contained within Planning Policy Wales (edition 12).

Application Ref: NP/21/0720/FUL

Case Officer Rob James
Applicant Mr & Mrs Hughes
Agent Mr M Bool, Oochitecture
Proposal Demolition of existing garage and division of rear garden to provide a plot for a new three-bedroom dwelling.
Site Location Manor House, 14 Grove Place, Little Haven, Haverfordwest, Pembrokeshire, SA62 3UG
Grid Ref
Date Valid 12-Nov-2021 **Target Date** 06-Jan-2022

This application is being presented to the Development Management Committee due to the recommendation of the Officer differing to that of the Community Council

Consultee Response

The Havens Community Council: Objection
PCC - Building Regulations: No Response
Coal Authority: Standard Advice
Dwr Cymru Welsh Water: Conditional Consent
PCC - Drainage Engineers: Standard Advice
PCNPA Planning Ecologist: Conditional Consent
PCNPA Tree and Landscape Officer: Conditional Consent
PCNPA Buildings Conservation Officer: No Objection
PCC - Transportation & Environment: Conditional Consent.
Natural Resources Wales: – No Objection

Public Response

A site notice and neighbour notification letters were posted in accordance with requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.

3 responses have been received on this application and have raised the following concerns:

- that the property should be conditioned so as to not allow subdivision into 2 separate units.
- That the properties red line is not accurate and incorporates land not in the applicants' ownership.
- The property is too large for the plot.

The above concerns have been addressed within the main report below.

Policies considered

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website – [Local Development Plan 2 - Pembrokeshire Coast National Park](#)

LDP2 Policy 01 - National Park Purposes and Duty
LDP2 Policy 06 - Rural Centres
LDP2 Policy 08 - Special Qualities
LDP2 Policy 10 - Sites and Species of European Importance
LDP2 Policy 11 - Nationally Protected Sites and Species
LDP2 Policy 12 - Local Areas of Nature Conservation/Sites of Geological Interest
LDP2 Policy 14 - Conservation of the Pembrokeshire Coast National Park
LDP2 Policy 29 - Sustainable Design
LDP2 Policy 30 - Amenity
LDP2 Policy 32 - Surface Water Drainage
LDP2 Policy 33 - Renewable Energy & Low Carbon Energy
LDP2 Policy 46 - Housing
LDP2 Policy 48 - Affordable Housing
LDP2 Policy 60 - Impacts of Traffic
PPW11
SPG01 - Affordable Housing
SPG03 - Landscape
SPG12 - Biodiversity
SPG16 - Sustainable Design & Development
TAN 02 - Planning and Affordable Housing
TAN 05 - Nature Conservation and Planning
TAN 06 - Planning for Sustainable Rural Communities
TAN 08 - Renewable Energy
TAN 12 - Design
TAN 15 - Development and Flood Risk
TAN 18 - Transport
TAN 24 - The Historic Environment

Constraints

Special Area of Conservation - within 500m
Safeguarding Zone
Hazardous Zones
Potential for surface water flooding
Recreation Character Areas
Low Coal Risk
Surface Coal
Article 4 Directions
Affordable Housing Submarkets
Seascape Character Areas
Conservation Area Little Haven
Landscape Character Area

Officer's Appraisal

Background and History

The application site forms part of the rear garden of the host dwelling Manor House which is a grade II Listed Building and also set within the Little Haven Conservation Area. The application site is currently occupied by a double garage serving the host property which has direct access onto Wesley Road. The site is bounded by mature planting to the side and rear with a stone wall fronting Wesley Road.

NP/057/97 - Conversion of. garage to 2-storey cottage – Approved
21.04.1997

NP/02/208 - Conversion of garage to cottage (ROC) – Withdrawn 07.08.2002

NP/03/587 - Conversion of garage to cottage (ROC) – Approved 26.01.2004

NP/12/0423 - Outline planning application (with all matters reserved) for proposed new dwelling to replace existing garage structure – Approved
23.10.2012

NP/17/0120/S73 - Vary Condition 1 of NP/12/0423 to extend permission for a further 5 years – Cancelled 07.03.2017

NP/17/0225/OUT - Demolish existing double garage and subdivision of existing rear garden to provide new dwelling together with part demolition of existing garden wall to provide new vehicle access to serve existing residential dwelling. Approved

Planning permission is sought for a new two-storey four-bedroom dwelling on a site which has already an outline consent for a similar property but with a slightly different design.

Key Issues

The application raises the following planning matters:-

- Policy, Principle of Development and Impact on National Park
- Affordable Housing
- Siting and Sustainable Design
- Amenity and Privacy
- Access and Parking
- Landscaping
- Biodiversity
- Land Drainage
- Other Material Considerations

Policy, Principle of Development and Impact on National Park:

The application site is located to the eastern side of Little Haven which is identified as a 'Rural Centre' within the Local Development Plan.

Policy 6 supports new residential development within this rural centre, and therefore the principle of the development is supported.

The proposal is also considered to meet the policies set out in the Local Development Plan.

Affordable Housing:

Policy 45 of the LDP seeks a contribution to affordable housing provision on new single dwellings.

A completed and signed unilateral undertaking has been submitted which provides for a contribution of £16,600 pounds calculated on the floor area of the dwelling at £100 per square metre in accordance with the SPG on Affordable Housing. The application can therefore be supported on affordable housing matters and in accordance with Policy 48 of the Local Development Plan.

Siting and Sustainable Design:

Objections have been received from both 3rd parties and the Havens Community Council that the proposed property is too large for the plot

A further objection has been received stating that the red line is incorrect and that not all of the land is within the ownership of the applicant. Officers consider this to be a civil matter and not one that can be held to be "material" within current planning law.

Policy 8 of the Pembrokeshire Coast National Park Local Development Plan (LDP) is a strategy policy which refers to the special qualities of the National Park and lists priorities to ensure that these special qualities will be protected and enhanced.

Policy 15 of the LDP seeks the conservation of the Pembrokeshire Coast National Park with criteria 'a', 'b' and 'd' resisting development that would cause significant visual intrusion, be insensitively and unsympathetically sited within the landscape, and/or fail to harmonise with, or enhance the landform and landscape character of the National Park. Policy 29 of the LDP requires all development proposals to be well designed in terms of place and local distinctiveness (criterion 'a').

The proposed siting of the works within this location is considered to be acceptable as the proposal has a scale, form, mass and design which is considered to be in-keeping within this area of the National Park. The proposal is for a 3 bedroom dwelling, and the site has a current/extant outline permission approving the principle of a 4 bedroom dwelling, which is a significant material consideration.

The PCNPA Buildings and Conservation Officer has been consulted as the plot is adjacent to a listed building and is within the Little Haven Conservation Area.

The Planning (Listed Buildings and Conservation Areas) Act 1990, requires under Part 66 that: 'in considering whether to grant planning permission or permission in principle for development which affects a listed building or its

setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses’.

The Conservation Officer gave the following response:

"The proposed dwelling appears to be of acceptable scale, responding well to its site. It is legible in terms of design, the materials of suitably high quality.

The dwelling is set well apart from the listed Manor House complex and will read quite= separately from it. In my view, the proposal will preserve the setting of the listed building to an acceptable degree.

In terms of the character and appearance of the conservation area, the loss of the garages are welcomed, the scale and design of the house acceptable, its siting allowing for retention of the views of the hillside beyond, important in terms of setting and avoidance of over-development".

Notwithstanding the objections received, officers consider the proposed scale, design and layout to be in accordance with the above-mentioned policies and can be supported.

Amenity and Privacy:

Policy 30 of the LDP refers to ‘amenity’ in general seeking to avoid incompatible development and significant adverse impact upon the amenity enjoyed by neighboring properties particularly where the development is an inappropriate use, is of a scale incompatible with its surroundings, development leads to an increase in traffic, noise, odour or light or the development is visually intrusive.

The current proposal is not considered by officers to result in impact upon the amenity and privacy currently enjoyed by neighboring properties and can be supported.

Access and Parking:

Correspondence has been received raising concerns that the already congested Wesley Road would be adversely affected by the proposal.

The proposal currently uses the existing access enjoyed by the current garages and pedestrian gateway.

The principle of development has already been approved via NP/17/0225/OUT. However, all matters were reserved, including access. As such, Pembrokeshire County Council have been consulted and recommend conditional approval. On this basis, the application is considered appropriate and there will be no harm to highway safety.

The proposed development is therefore considered to comply with Policies 59 & 60 of the Pembrokeshire Coast National Park Local Development Plan.

Landscaping:

The proposed scheme includes further landscaping details as to those provided at outline stage. PCNPA Tree & Landscape Officer has been consulted and recommended a pre commencement condition requiring extra information.

Subject to the inclusion of this condition the application is considered appropriate.

Biodiversity:

PPW, TAN5 and LDP policy 11 requires biodiversity and landscape considerations to be taken into account in determining individual applications. The presence of a species protected under UK or European legislation is a material consideration when dealing with applications that are likely to result in disturbance or harm to the species or its habitat.

No bats were recorded using the building proposed for demolition as part of the ecological survey work by Gould Ecology.

The Authority's Ecologist has confirmed that it is recommended there are opportunities within the proposed development to accommodate biodiversity enhancement measures and a scheme for ecological enhancement will be required to be agreed in writing through a condition.

In respect of external lighting details a condition will be used to ensure they are downward facing, hooded and on a short PIR activated timer.

The above aspects will be secured through planning conditions. As such, the proposal conforms to the relevant requirements of PPW, TAN5 and LDP2 policies 10 & 11.

Land Drainage:

Welsh Water has indicated that they support the current proposal subject to conditions relating to surface water discharge and an informative note on new connections to the public sewer.

Pembrokeshire County Council Drainage Engineers have indicated that the proposed development will result in SAB approval being required as the development will be in excess of 100m². An informative will be added to any consent granted to inform the applicant of this aspect.

Other Material Considerations:

Dyfed Archaeological Trust has indicated that in order to protect potential archaeological interests a Grampian style condition will need to be imposed in line with Section 23 of Welsh Office Circular 60/96 – Planning and the Historic Environment to secure a written scheme of investigation.

Conclusion

Following consideration of the policies contained within LDP2 and National Planning Policy in the form of Planning Policy Wales (Edition 11, February 2021) and having regard to all material considerations it is considered that the development is appropriate and can be supported.

The scheme incorporates a sustainable design that provides modern living accommodation, the development will be in keeping with the aims of the LDP2, in that the development will conserve and enhance the existing character of the site and the special qualities of this area of the National Park. As such, subject to a schedule of suitable conditions to control the development and the submitted legal agreement, the development is considered to be acceptable and complies with the requirements of LDP2.

Recommendation

APPROVE, subject to the following conditions:

1. The development shall begin not later than five years from the date of this decision.

Reason: Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development shall be carried out in accordance with the following approved plans and documents:

MHC_000_A - Location and Block Plan

MHC_002_C – Proposed Site Plan

MHC_003_C – Proposed Ground Floor Plan

MHC_004_C – Proposed First Floor and Roof Plan

MHC_005_B – Proposed Elevations

MHC_006_B – Proposed Elevations

MHC_007_A – Proposed Landscaping Plan.

Reason: In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan 2 – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).

3. The parking area as shown on the submitted drawings shall be completed before the development is brought into use and thereafter shall be used for no purpose other than parking.

Reason: To reduce the likelihood of obstruction of the highway or danger to road users. Local Development Plan 2 - Policy: 60 (Impacts of Traffic).

4. All retained trees, hedgebanks and hedge boundary features and/or any trees whose canopies overhang the site shall be protected in

accordance with BS5837: 2012 Trees in relation to design, demolition and construction – Recommendations for the duration of the development, the location and type to be previously approved in writing by the local planning authority.

- The protection measures shall be implemented before any equipment, machinery or materials are brought onto the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site.

- Nothing shall be stored or placed within any protected area, and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the prior written consent of the local planning authority.

Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 – Policies: 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation and enhancement of the Pembrokeshire Coast National Park), 30 (Amenity), Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997).

5. No development, demolition or site clearance shall take place until there has been submitted to and approved in writing by the local planning authority a scheme relating to the immediate landscape. The approved scheme shall include the following details:

- Arboricultural Impact Assessment (AIA)
- Arboricultural Method Statement (AMS)
- Landscape scheme and management plan
- Confirmation of Arboricultural supervision and adherence during development

Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Local Development Plan 2 – Policies: 1 (National Park Purposes and Duty), 8 (Special Qualities), 14 (Conservation and enhancement of the Pembrokeshire Coast National Park), 30 (Amenity), Technical Advice Note (TAN) 5: Nature Conservation and Planning (2009), Technical Advice Note (TAN) 10: Tree Preservation Orders (1997)

6. Prior to the commencement of development works, a biodiversity enhancement scheme, to include provision of at least two features for bat roosting or bird nesting, shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity enhancement scheme shall be undertaken and/or installed prior to the first beneficial use of the development hereby approved, in accordance with the

approved details.

Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 10 (Sites and Species of European Importance), 11 (Nationally Protected Sites and Species), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).

7. A lighting scheme shall be submitted to the local planning authority for approval in writing prior to its installation. All external lighting proposed should be low level, downward facing, hooded and on a short PIR activated timer. Any external lighting shall be implemented and retained as approved.

Reason: In the interests of maintaining a suitable scheme of landscaping to protect the visual amenity of the area, to maintain the special qualities of the landscape and habitats through the protection, creation and enhancement of links between sites and their protection for amenity, landscape and biodiversity value. Policy: Local Development Plan 2 - Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 10 (Sites and Species of European Importance), 11 (Nationally Protected Sites and Species), 14 (Conservation of the Pembrokeshire Coast National Park) and 30 (Amenity).

8. No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment. Policy: Local Development Plan 2 - Policy 32 (Surface Water Drainage).

9. No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the local planning authority.

Reason: To protect historic environment interests whilst enabling development. Policy: Local Development Plan 2 - Policy 8 (Special Qualities) and Planning Policy Wales (Edition 10) - Chapter 6 (Conserving the Historic Environment).

Notes:
 - Drawings to be read in conjunction with specification
 - All dimensions are in millimetres unless stated
 - Do not scale unless printed at 100%
 This drawing is subject to the terms of contract between oochitecture and the client. It is not to be used for any other purpose without the specific written consent of oochitecture.

Design Statement

This application proposes a new dwelling on the land to the rear of the Manor House, Littlehaven. The plot lies within the Littlehaven Conservation Area and is accessed from Wesley Road to the North. The plot is currently the rear garden and driveway to the Manor House with a single storey rendered double garage sited in the North East corner.

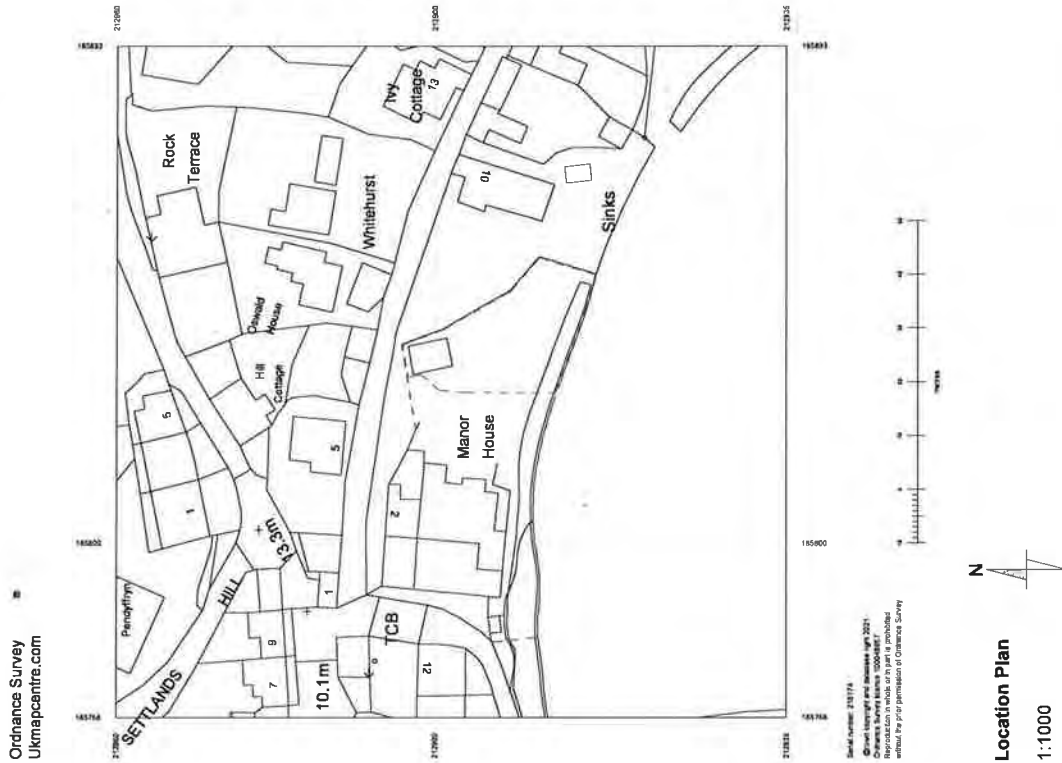
Outline consent was granted in January 2018 (NP/17/0225/OUT) for the demolition of the garage and subdivision of the garden to provide a new dwelling and vehicle parking. The proposed design has now been developed in order to submit a full planning and conservation area consent application.

The proposed site plan divides the garden to allow for a retained driveway/off road parking for Manor House utilising the existing entrance from Wesley Road. It is then proposed to form a new entrance into the plot adjacent to the existing (at the entrance to the current garage), with stone pillars and walling to match the existing.

The new dwelling shall sit centrally within the depth of the site, allowing for a driveway, parking for two vehicles and a private garden to the rear. The form of the proposed dwelling is inspired by the double gable of the adjacent 'Ty Nant' with the mass of the building divided into two elements which respond to the site geometry and context. A glazed link between the two gabled wings allows for visual connectivity from front to rear of the site and reduces the overall mass of the building. A sheltered patio space is formed to the rear garden offering privacy to both residents and neighbours.

The building will be constructed primarily using a palette of materials in keeping with the vernacular and Conservation Area, including natural stone, smooth render and natural slate roofing. In contrast, the link and inner facades will use some standing seam metal cladding.

The works will be in accordance with the current Building Regulations with full plans submitted prior to commencement of the works. A separate SAB application will also be made covering the design of the Sustainable Urban Drainage System.



KEY
 - - - - Application boundary
 - - - - Ownership boundary

No.	Reference	Proposed Issues	Date
1			03/11/2021



Client
 Mr & Mrs Hughes
 Land at rear of Manor House,
 Little Haven,
 Pembrokeshire SA62 3UG

Project
 New Dwelling at Manor House

Title
 Site Location Plan

Original Scale	Drawn	L. Sheets	Rev
1:1000			
Drawing Number	Date	03/11/2021	
MHC_000		A	

Notes:
 - Drawings to be read in conjunction with specification
 - All dimensions are in millimeters unless stated
 - Do not scale unless printed at 100%
 This drawing is subject to the terms of contract between oochitecture and the client. It is not to be used for any other purpose without the specific written authorisation of oochitecture.

KEY
 - - - - - Application boundary
 - - - - - Ownership boundary

No.	Revisions	Proposed by	Date
1	Issue for planning	L. Scarfello	03/11/2021

oochitecture
 oochitecture Limited
 The Royal, Little Haven, Little Haven, SA43 3JQ
 info@oochitecture.com 01253 374922

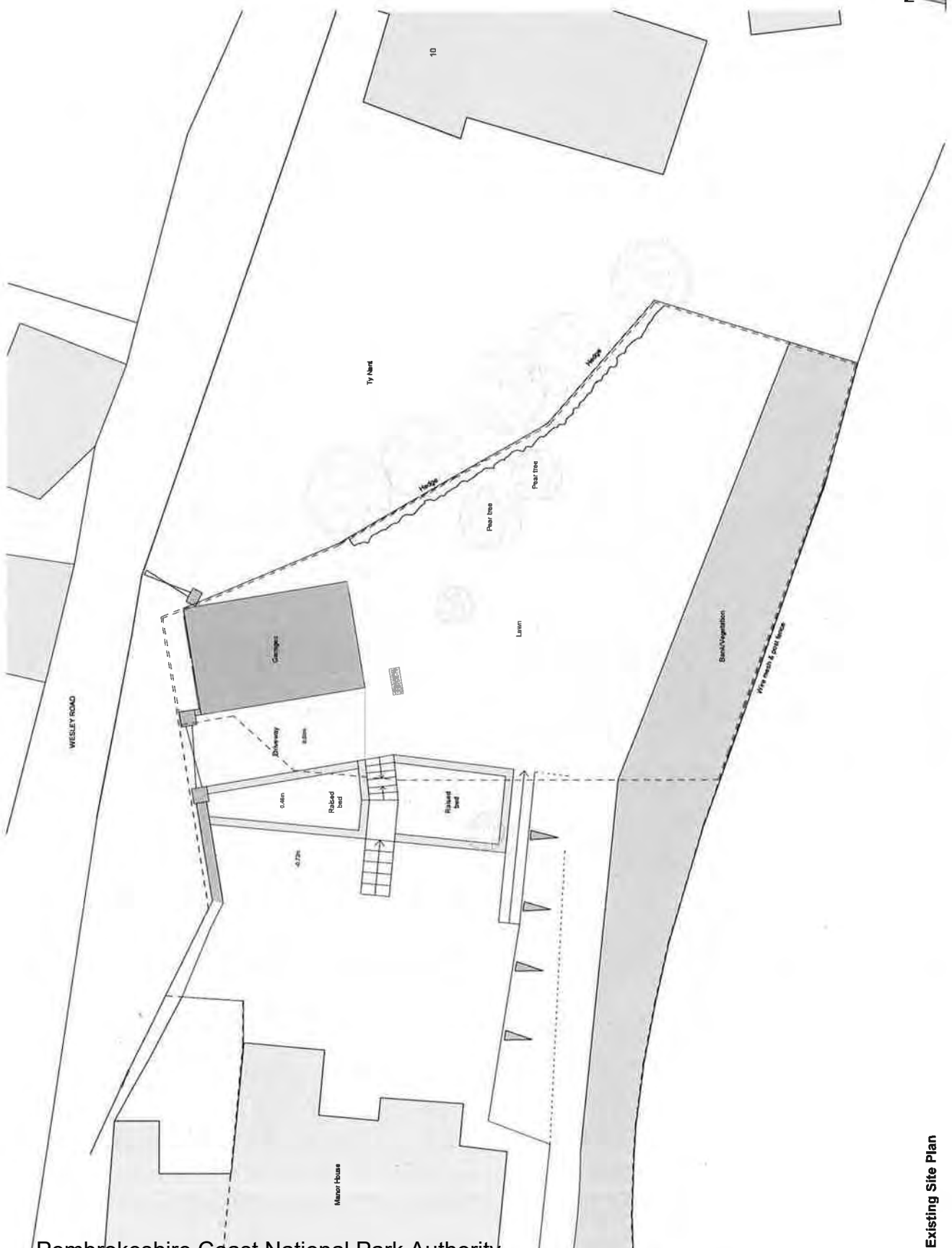
Client
 Mr & Mrs Hughes
 Land at rear of Manor House,
 Little Haven,
 Pembrokeshire SA62 3UG

Project
 New Dwelling at Manor House

Title
 Existing Site Plan

Original scale: 1:200
 Drawn: L. Scarfello
 Date: 03/11/2021
 Drawing Number: MHC_001

Scale
 0 5 10 Meters



Notes:
 - Drawings to be read in conjunction with specification
 - All dimensions are in millimeters unless stated
 - Do not scale unless printed at 100%
 This drawing is subject to the terms of contract between oochitecture and the client. It is not to be used for any other purpose connected with this project only.

Rev	Description	Date
C	Revised	05/11/2021
B	Drawn	06/10/2021
A	Drawn	23/09/2021

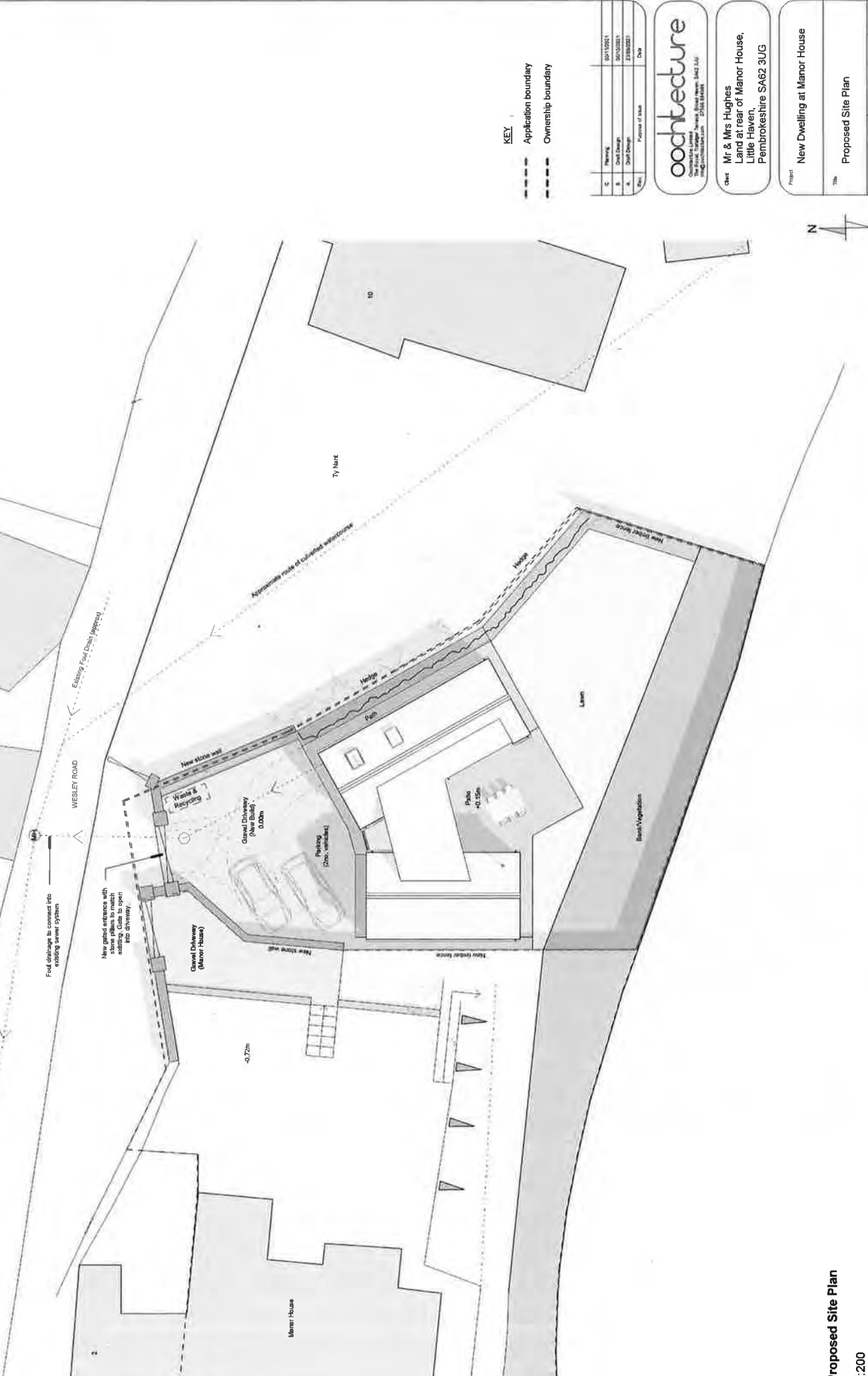
oochitecture
 Oochitecture Limited
 The Priory, Gwynedd, Llanwrthwl, Gwynedd, LL54 3JF
 Tel: 01248 862222

Client: Mr & Mrs Hughes
 Land at rear of Manor House,
 Little Haven,
 Pembrokeshire SA62 3UG

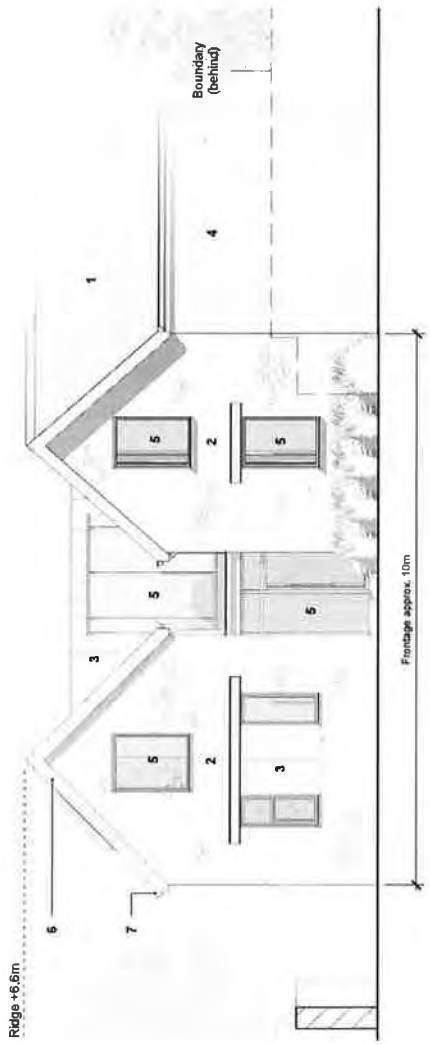
Project: New Dwelling at Manor House
 Title: Proposed Site Plan

Project Code	Drawn	By	Rev
1: 200	M. Boal		
		Date	23/09/2021
		Drawing Number	MHC_002

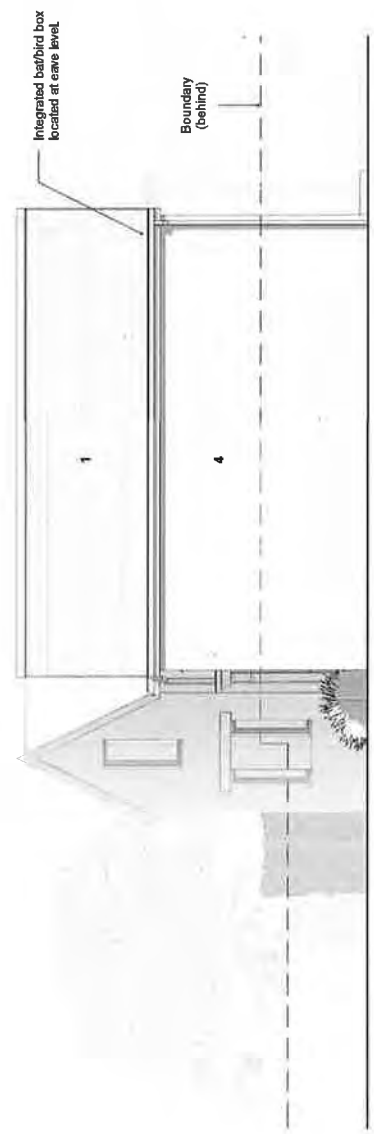
Scale: 1:200
 Drawing Number: MHC_002



Notes:
 - Drawings to be read in conjunction with specification
 - All dimensions are in millimeters unless stated
 - Do not scale unless stated at 100%
 This drawing is subject to the terms of contract between oochitecture and the client. It is not to be used for any other purpose without the specific purpose consented to in writing by the client.



Proposed North Elevation



Proposed West Elevation

- Key**
- 1 Slate
 - 2 Natural stone
 - 3 Standing seam metal (grey)
 - 4 Render (White)
 - 5 PPC Aluminium glazing (grey)
 - 6 Painted timber fascias (grey)
 - 7 Aluminium rainwater goods (grey)
 - 8 GRP/single ply roof
- EL External Downlight
 N.B. in accordance with section 7.3 of Ecology Report
- RWP Rainwater Downpipe

Rev.	Description	Date
B	Revisions	05/10/2021
A	Draw Design	05/10/2021



Client: Mr & Mrs Hughes
 Land at rear of Manor House,
 Little Haven,
 Pembrokeshire SA62 3UG

Project: New Dwelling at Manor House

Title: Proposed Elevations - Sheet 1

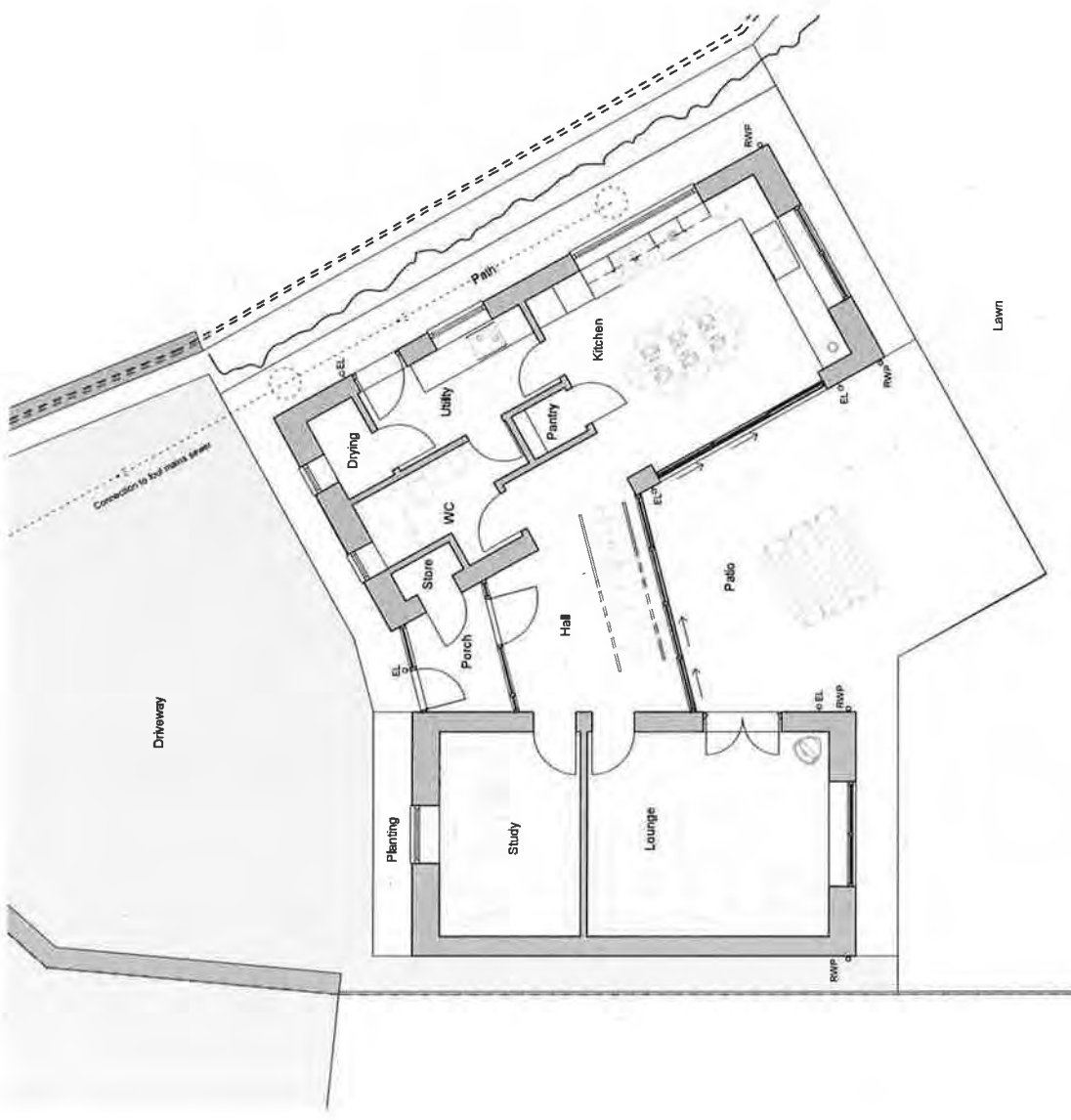
Original Scale	Drawn	L. Stead	Rev
1: 100	Date	05/10/2021	B
Drawing Number			MHC_005



Notes:
 - Drawings to be read in conjunction with specification
 - All dimensions are in millimetres unless stated
 - Do not scale unless printed at 100%
 This drawing is subject to the terms of contract between architect and client. It is not to be used for any other purpose without the written authority of the architect.

Key

- 1 Slabs
- 2 Natural stone
- 3 Standing seam metal (grey)
- 4 Render (white)
- 5 PPC Aluminium glazing (grey)
- 6 Painted timber fascias (grey)
- 7 Aluminium rainwater goods (grey)
- 8 GRP/single ply roof
- o EL External Downlight in accordance with section 7.5 of Ecology Report
- RWP Rainwater Downpipe
- Application boundary
- Ownership boundary



No.	Purpose of Issue	Date
2	Revised	28/11/2021
1	Issue for Approval	23/09/2021
0	Issue for Approval	23/09/2021

oarchitecture
 The Firm: oarchitecture, 1000 Avenue, SA63 2JY
 01323 666666 | info@oarchitecture.com | www.oarchitecture.com

Client: Mr & Mrs Hughes
 Land at rear of Manor House,
 Little Haven,
 Pembrokeshire SA62 3UG

Project: New Dwelling at Manor House

Title: Proposed Ground Floor Plan

Original Scale	1:100	Drawn	M. Bood	Rev	
Drawing Number	MHC_003				

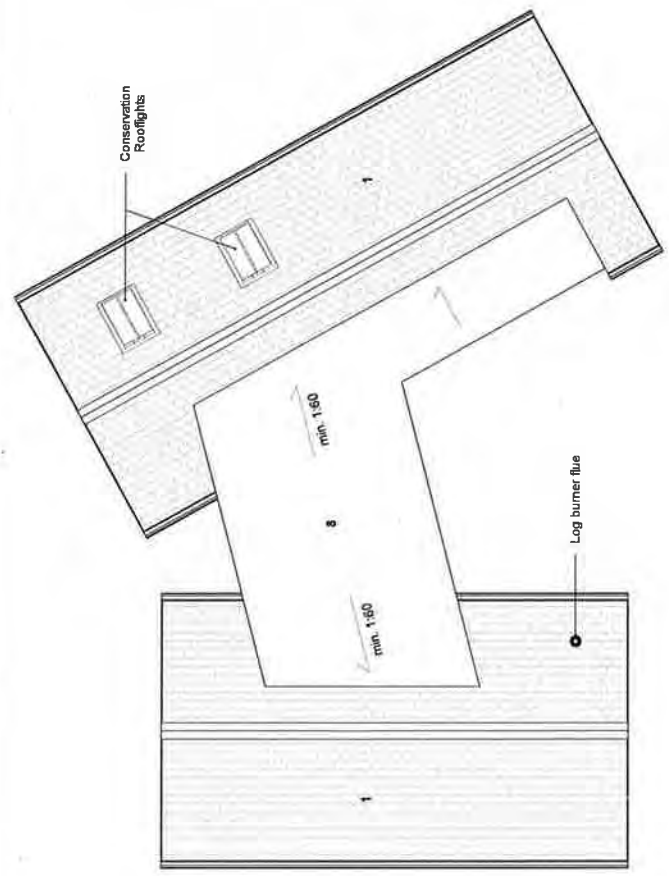


Proposed Ground Floor Plan
 1:100

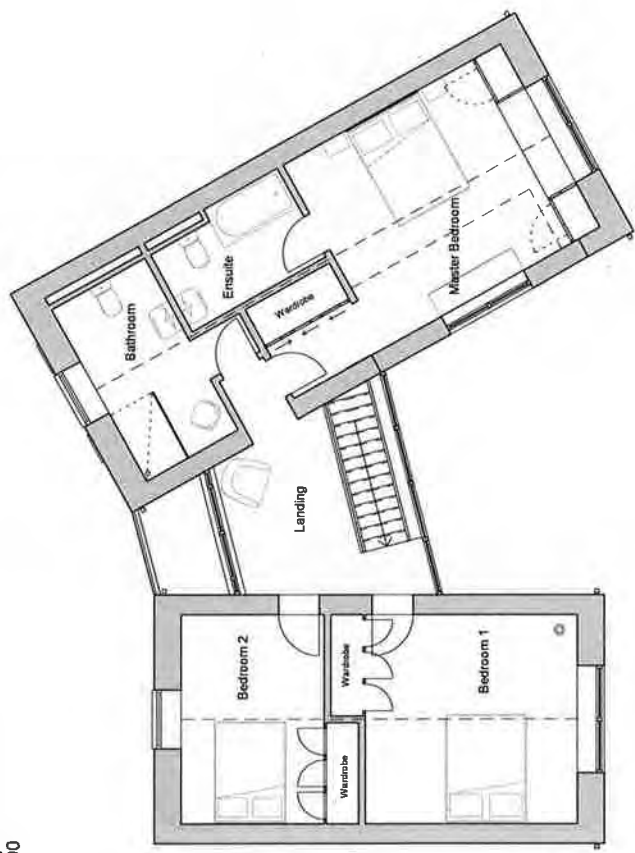
Notes:
 - Drawings to be read in conjunction with specification
 - All dimensions are in millimeters unless stated
 - Do not scale unless printed at 100%
 This drawing is subject to the terms of contract between oochitecture and the client. It is not to be used for any other project or for any specific purpose without the written consent of oochitecture.

Key

- 1 Slate
 - 2 Natural stone
 - 3 Standing seam metal (grey)
 - 4 Render (white)
 - 5 PFC Aluminium glazing (grey)
 - 6 Painted timber fascias (grey)
 - 7 Aluminium rainwater goods (grey)
 - 8 GRP/single ply roof
 - o EL External Downlight
- N.B. in accordance with section 7.3 of Ecology Report
- RWP Rainwater Downpipe



Proposed Roof Plan
1:100



Proposed First Floor Plan
1:100

C	Revising	03/11/2021	Date
B	Start Design	05/12/2021	Date
A	Start Brief	24/06/2021	Date
Site	Purpose of brief		Date



Client: Mr & Mrs Hughes
 Land at rear of Manor House,
 Little Haven,
 Pembrokeshire SA62 3UG

Project: New Dwelling at Manor House

Title: Proposed First Floor & Roof Plan

Original Scale	Client	Issue
1:100	M. Sool	Yes
Drawing Number	Date	
MHC_004	23/09/2021	



