

Application Ref: NP/12/0025

Application Type	Full
Grid Ref:	SN13140569
Applicant	Mr D Lewis, The Hean Castle Estate
Agent	Mr P Holden, Acanthus Holden Ltd
Proposal	Change of use & conversion of vacant private school buildings to hotel use, including extensions to existing buildings, part and full demolition of classrooms, erection of new plant room building & associated car parking and landscaping
Site Location	Netherwood School, Saundersfoot, Pembrokeshire, SA69 9BE
Case Officer	Julia Evans

Summary

This is a full application for the change of use and conversion of a vacant public school to a fifteen bedroomed hotel, with associated function rooms and facilities, at Netherwood School, Saundersfoot. The proposal involves extensions and alterations to the existing buildings, part and full demolition of the modern classrooms on the site, and the erection of a new storage / boiler room, plus construction of a new car park and associated landscaping for the scheme.

The planning application and its Listed Building Consent application, have been brought before the Committee because the planning application is a major scheme.

The proposal would restore a use to a vacant listed building, bring employment into the area, and provide a community facility. Subject to the conditions suggested in the report, the proposal is not felt to harm the special historic and architectural qualities of the Listed Building, nor the special qualities of the National Park. The application is recommended to be delegated for determination by the Chief Executive / Director of Park and Direction / Head of Development Management for permission subject to the satisfactory completion of a Section 106 Legal Agreement and the suggested conditions.

Consultee Response

Pembrokeshire Local Access Forum: Conditional Consent

Saundersfoot Community Council: Supporting

Coal Authority: No objection

Countryside Council for Wales: Reply - Request that the applicant is asked to submit further details of the bat access points in Proposed Garden Store.

Dwr Cymru Welsh Water: No objection

Environment Agency Wales: Standard Advice

PCC - Head of Public Protection: No Response Received

Dyfed Archaeological Trust: No objection

Public Response

The application has been advertised and neighbour notifications have been undertaken. At the time of writing this report, no responses had been received.

Policies considered

LDP Policy 01 - National Park Purposes and Duty

LDP Policy 07 - Countryside

LDP Policy 08 - Special Qualities

LDP Policy 09 - Light Pollution

LDP Policy 11 - Protection of Biodiversity

LDP Policy 15 - Conservation of the Pembrokeshire Coast National Park

LDP Policy 26 - Inactive Mineral Sites

LDP Policy 29 - Sustainable Design

LDP Policy 30 - Amenity

LDP Policy 31 - Minimising Waste

LDP Policy 32 - Surface Water Drainage

LDP Policy 33 - Renewable Energy

LDP Policy 35 - Visitor Economy

LDP Policy 48 - Community Facilities and Infrastructure Requirements

LDP Policy 52 - Sustainable Transport

LDP Policy 53 - Impacts on traffic

PPW4 Chapter 03 - Making and Enforcing Planning Decisions

PPW4 Chapter 04 - Planning for Sustainability

PPW4 Chapter 05 - Conserving and Improving Natural Heritage and the Coast

PPW4 Chapter 06 - Conserving the Historic Environment

PPW4 Chapter 07 - Supporting the Economy

PPW4 Chapter 08 - Transport

PPW4 Chapter 11 - Tourism, Sport and Recreation

PPW4 Chapter 12 - Infrastructure and Services

PPW4 Chapter 13 - Minimising and Managing Environmental Risks and Pollution

SPG03 - Sustainable Design

SPG04 - Planning Obligations

SPG06 - Landscape Character Assessment Study, June 2009

SPG10 - Parking
SPG12 - Coal Works - Instability
SPG13 - Archaeology
SPG14 - Renewable Energy
TAN 05 - Nature Conservation and Planning
TAN 06 - Planning for Sustainable Rural Communities
TAN 08 - Renewable Energy
TAN 11 - Noise
TAN 12 - Design
TAN 13 - Tourism
TAN 18 - Transport
TAN 22 - Planning for Sustainable Buildings

Officer's Appraisal

Background

This is a full major application for the change of use and conversion of a vacant private school to a fifteen bedroomed hotel with function rooms, at Netherwood School, Saundersfoot. The school is a Grade II listed building, and a Listed Building Consent application has also been submitted to the Authority for consideration (NP/12/0027).

Netherwood School is part of the Hean Castle Estate. The site is located to the north of Saundersfoot in the open countryside, on the southern side of the B4316 road. It is elevated above the level of the road, and the buildings and playing fields are surrounded by trees. It was originally constructed in circa 1840 as a private house with associated outbuildings. From 1946 it was used as a public school until its closure in 2009, since when it has been vacant. Vehicular access to the property lies to the north-western corner of the property, with a driveway leading to the area of hardstanding to the front (northern elevation) of the buildings. The house is constructed of white render walls under a slate roof, and has both two and single storey extensions on its western side and to the rear. A detached outbuilding lies to the south of the internal courtyard and tennis courts, which is constructed of coursed rubble stone under a slate roof. Modern school buildings lie to the south of the main house, including a detached sports hall, and a number of prefabricated classrooms and store buildings. To the south of the school buildings lie two areas of grass meadows, which run gently downhill towards the south. Beyond the hardstanding to the front of the house, lies an area of woodland that runs down to the road.

Constraints

The site lies within the open countryside, and the historic buildings are Grade II listed. The whole site lies over a Coal Referral Area. The south-east edge of the site is bordered by a public right of way.

Relevant Planning History

There have been a number of applications on the site regarding its use as a school.

The applicant also received pre-application advice from this Authority last year supporting the change of use of the school to a hotel, and its associated extensions and alterations.

Current Proposals

This full application proposes the conversion of the vacant school buildings to a fifteen bedroomed hotel, and associated function rooms and facilities. The main house would be converted and extended to provide 3 bedrooms on its ground floor, along with the dining room, lounge, reception area, and kitchen, with a further six bedrooms on the first floor. The existing staircase would be replaced with one leading from the reception area. A new link to the existing sports hall would allow the change of use of this building as a function room, with associated toilet and kitchen facilities. The stone outbuilding to the west of the site would be converted into another six bedrooms, and linked to the main house and its extensions on the first floor. A new sun terrace would be provided leading out from the dining room and function room, with the existing prefab classrooms being demolished to allow for the provision of a lawned garden area to the south of the building.

Beyond the western outbuilding would be a car park laid out with 63 car parking spaces which would be in addition to the 18 spaces provided to the north of the building. A gravelled access track would run around the southern area of the garden to provide service delivery access for the function room. Beyond the new car park to its western boundary a new boiler / storage building (measuring approximately 23m x 6m x 5.5m) would be erected, constructed of vertical larch timber cladding under a slate roof. This building would also provide a bat roost for the site.

It is anticipated that the use of the hotel and its associated facilities would provide three full-time jobs and five part-time jobs. The hotel's function rooms could be used independently from the hotel, and would provide a venue for business and social functions.

The application has been supported with the following information:-

- A Transport statement;
- A Design and Access Statement;
- A Schedule of alterations to the Listed Building;
- An Ecological Survey;

- A Coal Mining Risk Assessment Report;
- An Arboricultural Report;
- A Demolition Statement.

Key Issues

This application raises the following planning matters:-

- Impact of the proposal on the special qualities of the National Park;
- Impact of the proposal on the Listed Building;
- Provision of new tourism accommodation;
- Community facility provision;
- Employment provision;
- Highways and public rights of way matters;
- Coal mining stability issues;
- Protected habitat and species matters;
- Archaeology matters;
- Sustainability matters;
- Trees and landscaping matters;
- Drainage and the water environment;
- Amenity.

Impact on the Special Qualities of the National Park and the Listed Building.
The proposal has been the subject of extensive pre-application discussions with support being given to the principle of the change of use and the proposed alterations and extensions to the Listed Building.

The proposal involves the removal of the school's prefabricated classrooms which are predominantly located to the rear of the main building, and modern extensions to the building.. This improves the setting of the Listed Building by allowing an area of grass and garden to be provided, thereby providing a more sensitive and appropriate setting for the Listed Building, plus it removes insensitive additions and extensions. The removal of the modern buildings and extensions on the site is therefore considered to be an enhancement to the site in terms of its visual improvement to the setting of the Listed Building and the special qualities of the National Park.

The change of use of the school includes extensions to the Listed Building, including the linking of the main building to the existing stone outbuilding and the sports hall. The Conservation Officer has raised no objection to the proposal as regards its impact on the Listed Building. He considers the proposed alterations and extensions to be of benefit to the Listed Building (including the removal of existing modern alterations and extensions), considerate and respectful to the character and appearance of the building, and bringing the buildings back into a viable use. As a result the proposal is not considered to harm the architectural and historic merit of the Listed Building or the special qualities of the National Park.

Item 6 - Report on Planning Applications

The proposal also involves the provision of a new boiler / store building and a new car park. The proposed store building is designed to replicate an agricultural store, using traditional materials (timber and slate), and is of a size and scale that does not detract from the setting of the Listed Building or the special qualities of the National Park. The car park would be screened from wider views by the proposed and existing buildings and the provision of a new hedgebank to the south. The car park would not be lit, and to ensure that light pollution is not a problem with the development, a condition has been suggested as regards external lighting. Likewise details of the car park's surfacing can be controlled within the suggested landscaping conditions. As a result the proposal is not felt to harm the special qualities of the National Park or the setting of the Listed Building.

Provision of New Hotel and Community Facilities.

Policy 7 of Local Development Plan sets out the types of development that can be acceptable in countryside locations. The Authority's Policy Section consider that the change of use and conversion of the buildings on the site to a hotel is acceptable under this policy, and that the site can be accessed by public transport. Although the proposal will result in the loss of school use (and which would be classed as a community use) it is considered that with regard to the provision of the function suite for non-residents as a community facility that this offers provision of leisure facilities for the needs of the wider community. This is pertinent to Policy 48 of the Local Development Plan as regards the provision of new community facilities for the community, which should be accessible by public transport and local services. The view of the Policy Section is that the site is accessible by public transport. In conclusion their view is that the proposal is compliant with development plan policy, and as a result no objection is raised to the change of use of the site.

Employment Provision.

Policy 1 of the Local Development Plan requires the protection of the natural beauty, wildlife and cultural heritage of the National Park, with due regard to be paid to the need to foster the economic and social well-being of its local communities. The school has been closed for several years, and its change of use to a hotel would result in the employment of three full-time employees and five part-time. This is considered to be of a positive benefit of the local community and the National Park.

Highways and Public Rights of Way Matters.

The application was forwarded to Pembrokeshire County Council's Highway Section for its comments as regards access and parking arrangements. It is considered that the proposed change of use of use is acceptable, and that the existing access is sufficient to accommodate this use. It is also satisfied that although the proposal would generate a significant increase in traffic, particularly due to the function use of the facility, that the provision of the new car park was satisfactory, subject to conditions, concerning provision and retention. However a requirement for the provision of £10,000 for the provision of a footpath / shared use path linking Saundersfoot Railway Station to Saundersfoot is requested.. The applicant has agreed to the provision of this amount, which has to be provided through a S106 Legal Agreement.

As regards the impact of the proposal on the public rights of way on and near the site, concern has been raised by the Authority's Rights of Way Section that the proposed discharge of drainage will cross the footpath and render it muddy and waterlogged. As a result it is suggested that this is conditioned so as not to occur.

Coal Mining Stability Issues.

The application was submitted with a Coal Mining Risk Assessment Report as the site lies over a Coal Referral Area. The Coal Authority has raised no objection, and standard advice has been attached as an informative.

Protected Habitat and Species Matters.

The application was supported with a Protected Species report which found that bats are roosting in a number of buildings on the site. The applicant is aware that before any work can begin on the buildings that a bat development licence from the Welsh Government will be needed. It is proposed to retain the bat roosts in the main house and one of its western outbuildings, plus make the new boiler house / store suitable as a further roost. At the request of CCW revised drawings have been provided annotated with the bat mitigation measures, and both the National Park's Ecologist and CCW have screened that the proposal will not have a Significant Effect on the internationally important habitat of the Pembrokeshire Bat Sites and Bosherton Lakes SAC.

Archaeological Matters.

The Dyfed Archaeological Trust has advised that the site is a relatively intact Grade II Listed Building. As a result it would like to protect potential archaeological remains on the site and have suggested that a conditional requirement for a programme of archaeological work is undertaken. The application was not supported with a pre-development archaeological assessment, but they have agreed to undertaking an assessment in accordance with the requirements of the Trust. As a result this condition has been suggested.

Sustainability Matters, Including Demolition.

Both national government and the Local Development Plan place a strong emphasis on sustainable development. The proposal has sought to balance improving the energy efficiency of the Listed Building whilst retaining its architectural and historic merits, through measures such as insulating the roof, replacing the existing heating system, and fitting low energy light bulbs. Low and zero carbon energy sources such as bio mass and solar heating (both active and passive), have also been incorporated into the scheme.

The application has also been supported with a Demolition Statement, which concludes that the majority of demolition waste generated by the development will be either reused or recycled. The applicant has agreed to the provision of a Site Waste Management Plan to minimise demolition, and this plus operational details of the demolition, have been conditioned.

Trees and Landscaping Matters.

The site lies within the open countryside and there are a number of trees within and adjacent to the site. After negotiations with the Authority's Landscape Officer, the applicant has agreed to provide protection for those trees that can be retained on site, and this has been conditioned. Generic landscaping conditions have also been suggested which would control both hard and soft landscaping. This is considered necessary so as to protect the setting of the Listed Building and the special qualities of the National Park.

Drainage and the Water Environment.

The site is currently served by a filter bed treatment system, located on the edge of woodland at the southern edge of the site. The application proposes a package treatment plant, the details of which it would like agreed with the Environment Agency at the detailed design stage of the works. Neither Welsh Water or the Environment Agency have objected to the proposal, subject to the latter requesting observance of their standard advice. Informatives have been suggested concerning the observance of the Environment Agency's standard advice.

Amenity.

The school has been vacant for some time now, and its change of use to a hotel with associated function rooms would result in an intensification of the use of the site. Although it is located in the open countryside, at some distance from neighbouring residential properties (over 90 metres away), the change of use could result in amenity issues, such as hours of use and delivery, noise and light pollution. At the time of writing this report no response had been received from the County Council's Environmental Health Section. The applicant has not provided details of hours of opening, saying that at this time they are unknown. In light of this and the absence of any comment from Environmental Health, conditions have been suggested concerning lighting and refuse arrangements. It is felt that these measures would be sufficient to protect the amenity of the neighbouring area and special qualities of the National Park.

Conclusion

The proposal is considered to bring back into use a vacant Listed Building, bring employment to the area, and provide a facility of community benefit. Subject to the conditions suggested in the report above, the proposal is not felt to harm the special historic and architectural qualities of the Listed Building, nor harm the special qualities of the National Park. The application is recommended for permission subject to the suggested conditions and the satisfactory negotiation of a S106 Legal Agreement in respect of securing a commuted sum for highway improvements.

Recommendation

That the application be delegated to the Chief Executive, Director of Park Direction and Planning / Head of Development Management to grant planning permission for this development subject to:-

- the satisfactory completion of a Section 106 Legal Agreement for the required highways funding; and
- appropriate conditions.

The suggested conditions at the time of writing the report are as follows:-

- Standard time;
- Deposited plans;
- Materials (sample submissions);
- Render sample panel;
- Roof materials;
- Parking and turning areas;
- Retention and use of parking areas;
- Hard and soft landscaping;
- Planting schedule;
- Tree protection;
- Demolition statement;
- External lighting;
- SUDS;
- Archaeological assessment;
- Refuse arrangements.
- Control of the use of the Building

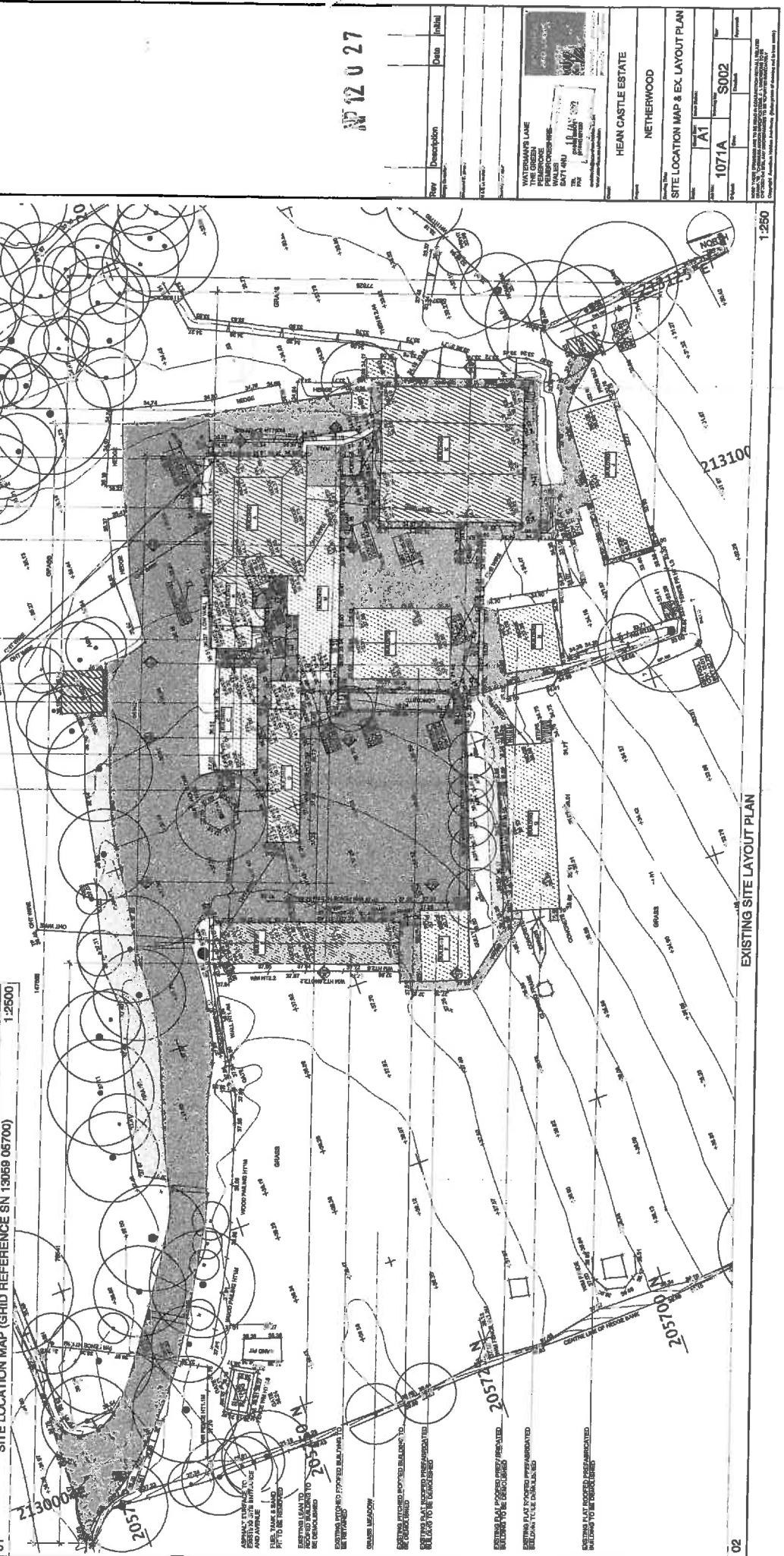
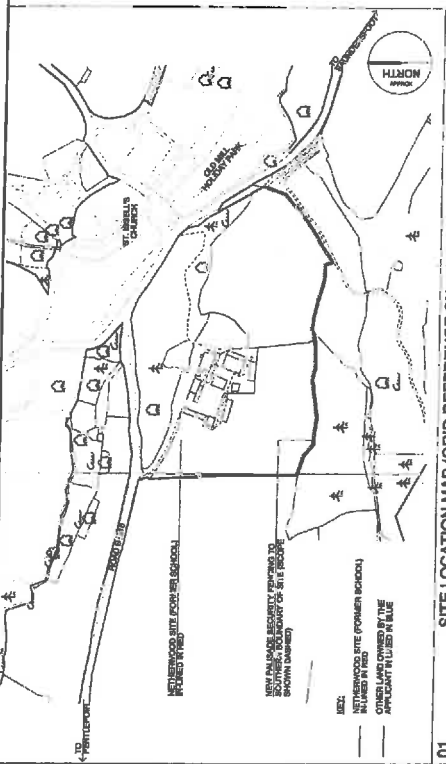
The suggested informatives at the time of writing the report are as follows:-

- Protected species;
- Environment Agency Standard Advice;
- Archaeology requirements; and
- Coal Authority requirements.

KEY

- EXISTING BUILDING FOOTPRINT - TO BE DEMOLISHED
- EXISTING BUILDING FOOTPRINT - TO BE RETAINED
- EXISTING TREE
- EXISTING GRAVEL BURNINGS
- EXISTING CONCRETE (SLABWORKING / CONCRETE PAVING)
- EXISTING ASPHALT SURFACING
- EXISTING LEVELS

EXISTING LEAN TO BE DEMOLISHED
 EXISTING LEAN TO BE RETAINED
 EXISTING FENCED ROOFED BUILDING TO BE DEMOLISHED
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Rev	Description	Date	Initials

HEAN CASTLE ESTATE
 NETHERWOOD

01 SITE LOCATION MAP (GRID REFERENCE SN 13069 05700) 1:2500

WOOD PALMS STATE SENIORS HOME (SHOWN DAMAGED)
 WOOD PALMS STATE JUNIOR HIGH SCHOOL (SHOWN DAMAGED)
 WOOD PALMS STATE SCHOOL (SHOWN DAMAGED)
 WOOD PALMS STATE SENIORS HOME (SHOWN DAMAGED)

KEY:
 NETHERWOOD SITE (FORMER SCHOOL)
 GRASSLAND FORMERLY IN THE PROPERTY (SHOWN DAMAGED)
 ASPHALT SURFACING TO BE DEMOLISHED
 ASPHALT SURFACING TO BE RETAINED
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 EXISTING FENCED ROOFED BUILDING TO BE RETAINED

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1:2500

KEY

- EXISTING BUILDING FOOTPRINT - TO BE DEMOLISHED
- EXISTING BUILDING FOOTPRINT TO BE RETAINED
- EXISTING TREE
- EXISTING GRASS SURFACING
- EXISTING CONCRETE SURFACING / COMPLETE PAVING
- EXISTING ASPHALT SURFACING
- EXISTING LEVELS
- EDGE OF WOODLAND
- GRASS

NP 12 0 27

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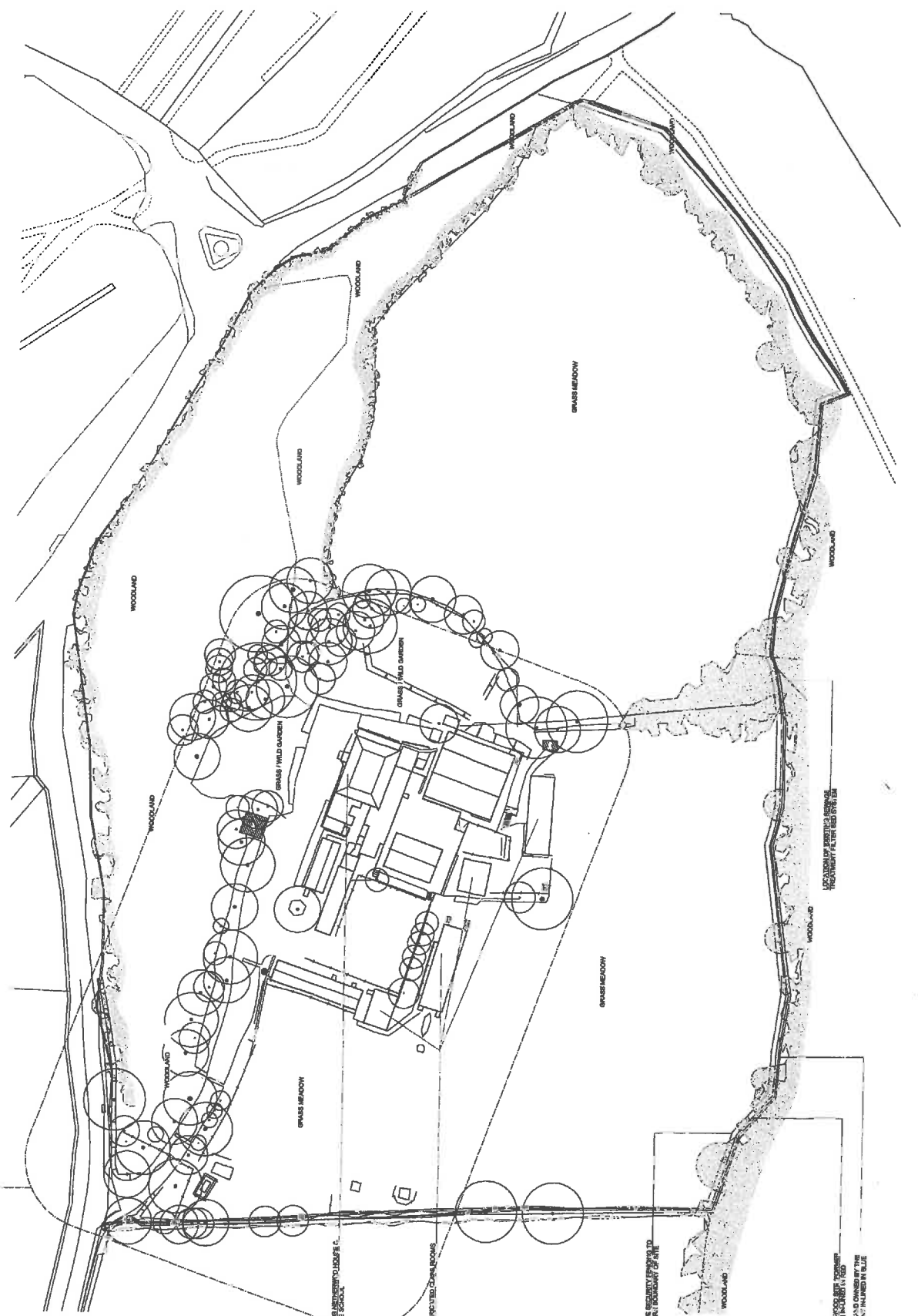
WATERHAM'S LANE
 THE GREEN
 WIMBORNE
 DORSET
 BH20 7PL
 TEL 01306 32222
 www.waterhams.co.uk

HEAN CASTLE ESTATE
 NETHERWOOD

EXISTING SITE PLAN / LANDSCAPING

Drawn by	AI
Project No.	1071A
Client Ref.	S025
Date	
Scale	

THIS SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND THE DESIGNER ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN.



1:500

REFER TO DRAWING 1071A-02 FOR EXISTING SITE LAYOUT PLANS OF NETHERWOOD NETHERWOOD SPACES

EXISTING BUILDING FOOTPRINT TO BE DEMOLISHED

EXISTING BUILDING FOOTPRINT TO BE RETAINED

EXISTING ASPHALT SURFACING

EXISTING CONCRETE SURFACING / COMPLETE PAVING

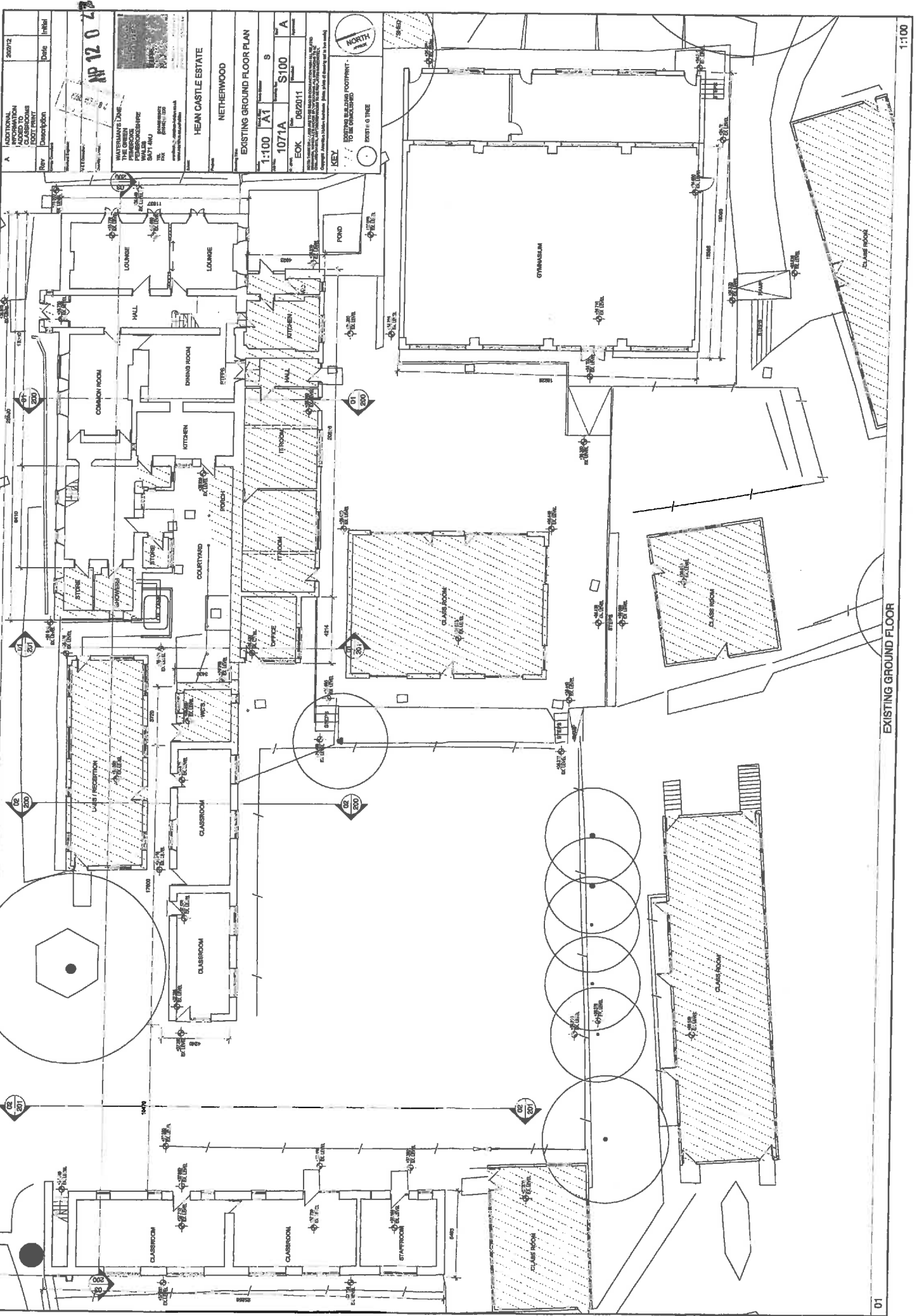
EXISTING GRASS SURFACING

EXISTING LEVELS

EDGE OF WOODLAND

GRASS

EXISTING WHOLE SITE PLAN & LANDSCAPING WORKS



2007/2	DATE	1/11/11
DESCRIPTION	DATE	1/11/11
REVISION	DATE	

AP 12 0 73

WATERMARKS LINE
 THE GREEN
 PERSBERGENHOF
 8071 400
 TEL: (08) 917 125
 WWW.GREENPERSBERGENHOF.COM

HEAN CASTLE ESTATE
 NETHERWOOD

EXISTING GROUND FLOOR PLAN
 Scale: 1:100
 Date: 09/2011
 Drawing No: S100
 Project: A
 EOK

FOR THE BUILDING FOOTPRINT -
 TO BE DEMOLISHED
 NORTH
 KEY
 BIRTH & TREE

EXISTING GROUND FLOOR

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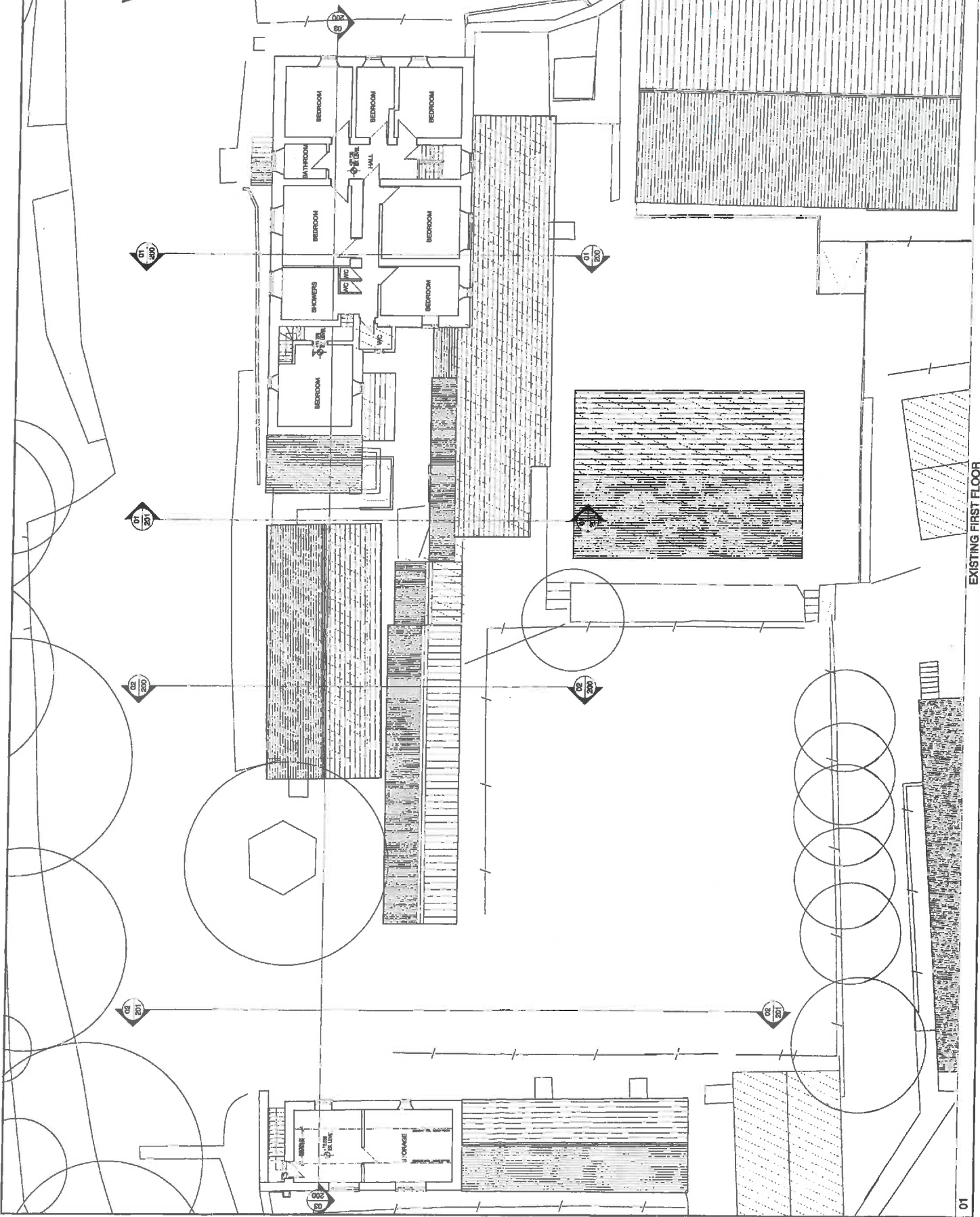
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 THE GREEN
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HEAN CASTLE ESTATE
 NETHERWOOD
 EXISTING FIRST FLOOR PLAN
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NORTH
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KEY
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 EXISTING TYPED

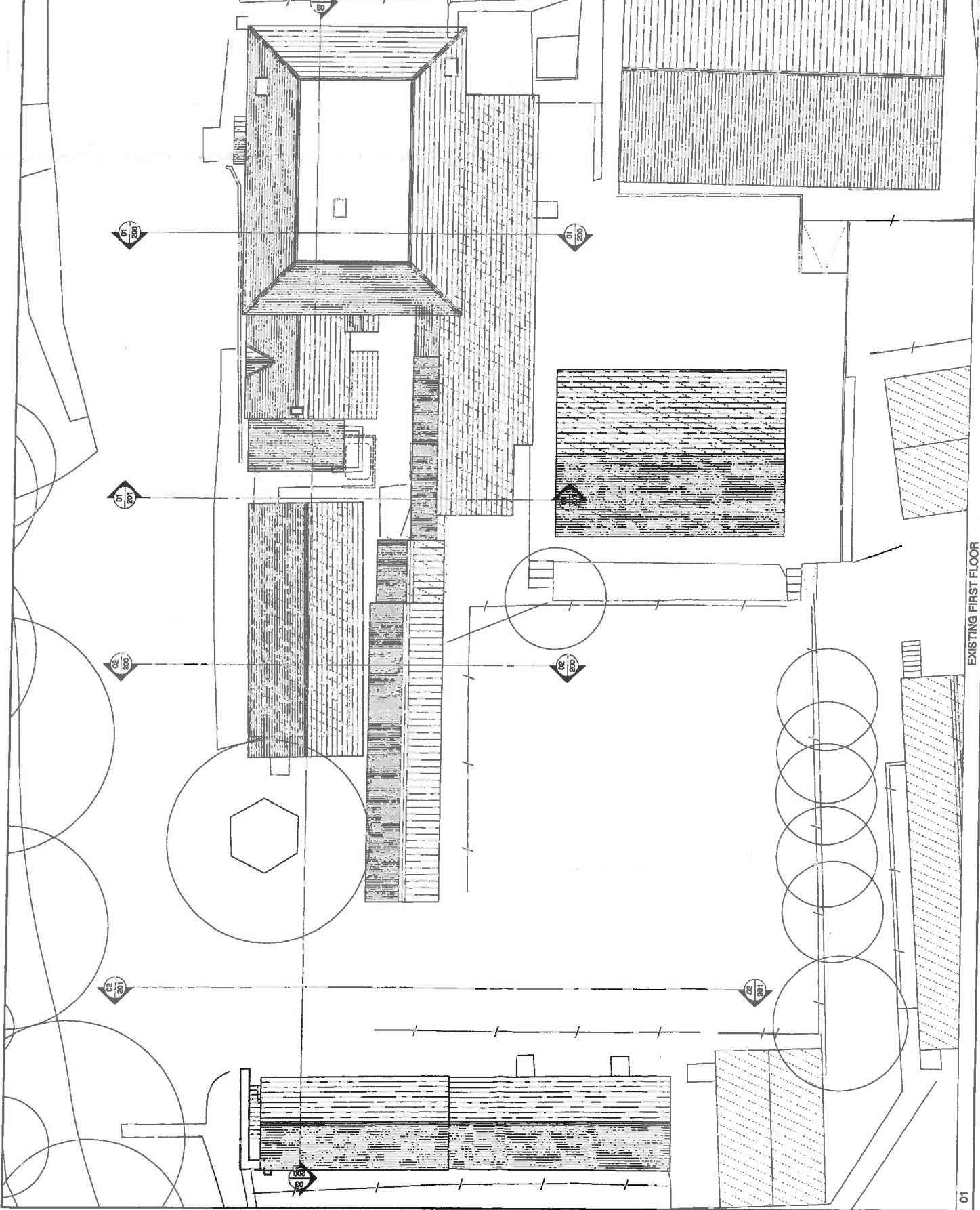


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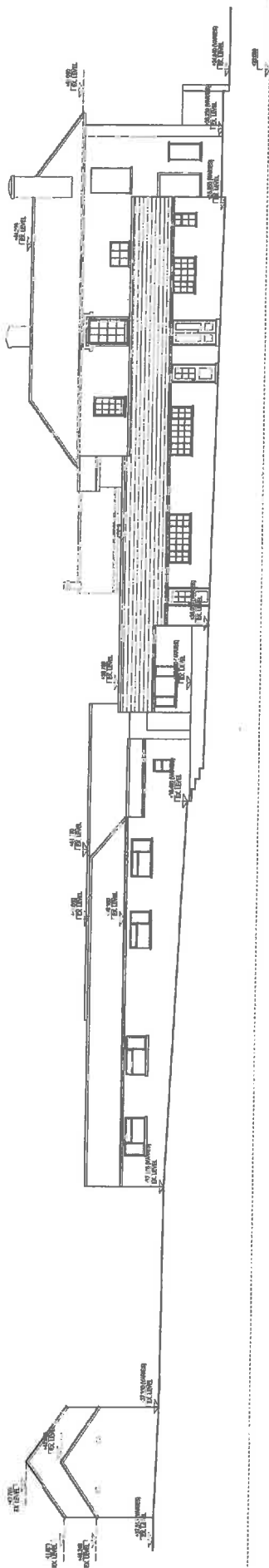
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<p>HEAN CASTLE ESTATE NETHERWOOD EXISTING ROOF PLAN</p>			
Scale	1:100	Sheet	A1
Project	1071A	Phase	S
Client	PJP	Issue	S102
Drawn	08/2011	Checked	
<p>NOTES: THIS DRAWING IS TO BE USED IN CONNECTION WITH THE CONTRACT DOCUMENTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.</p>			
<p>KEY EXISTING BUILDING FOOTPRINT TO BE DEMOLISHED EXISTING TREES</p>			



EXISTING FIRST FLOOR

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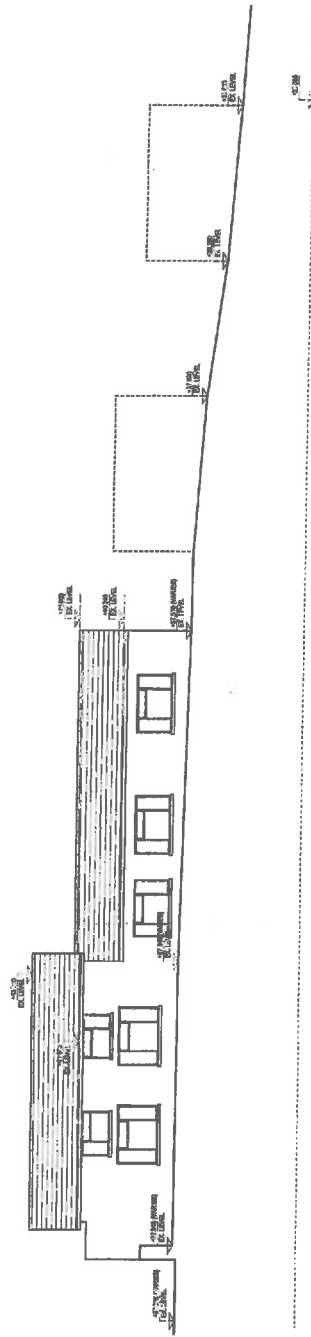


01

EXISTING SOUTH ELEVATION

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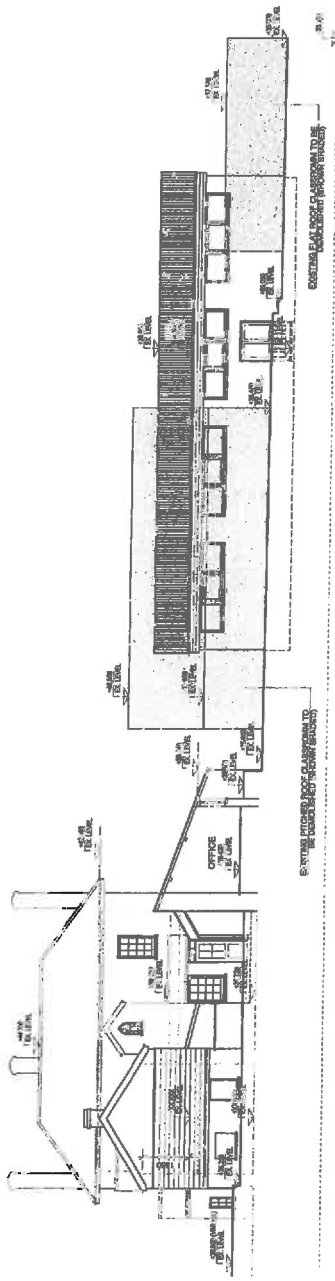


02

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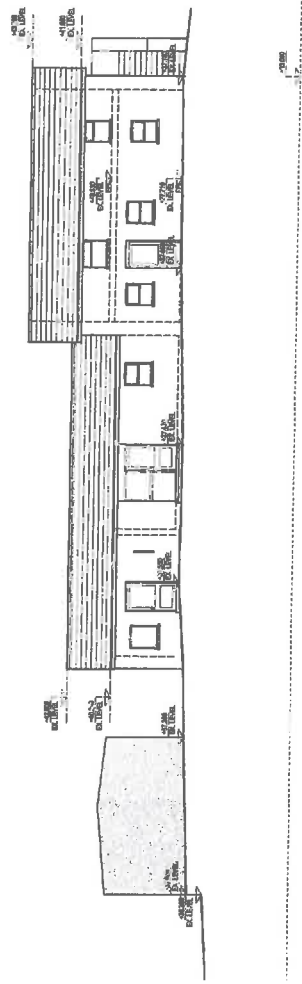
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<p>WATERMANS LANE THE GREEN PETERBOROUGH NORTHAMPTONSHIRE MK7 4NU TEL: 01571 461444 FAX: 01571 461445 www.watermans.co.uk</p>			
<p>HEAN CASTLE ESTATE NETHERWOOD EXISTING ELEVATIONS</p>			
Scale	1:100	Sheet No.	A1
Client	1071A	Project No.	S301
Author	PJP	Date	08/2011
<p>THIS DRAWING IS UNLESS OTHERWISE SPECIFIED TO BE THE PROPERTY OF WATERMANS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF WATERMANS.</p>			



EXISTING SECTION D - D

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EXISTING SECTION E - E

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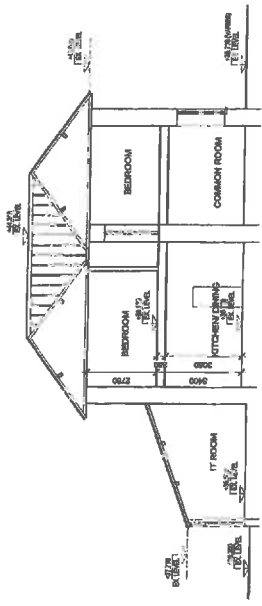
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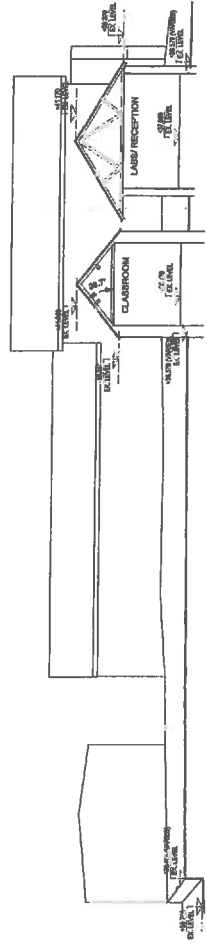
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HEAN CASTLE ESTATE NETHERWOOD			
EXISTING SECTIONS			
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Drawn	PJP	Date	08/2011
Checked	PJP	Project No	S201

I am a registered professional engineer and hereby certify that I have prepared this drawing in accordance with the provisions of the Engineering Council (Part 2) Regulations 2001. I have not been involved in the design of the structure shown on this drawing. I have not been involved in the design of the structure shown on this drawing.



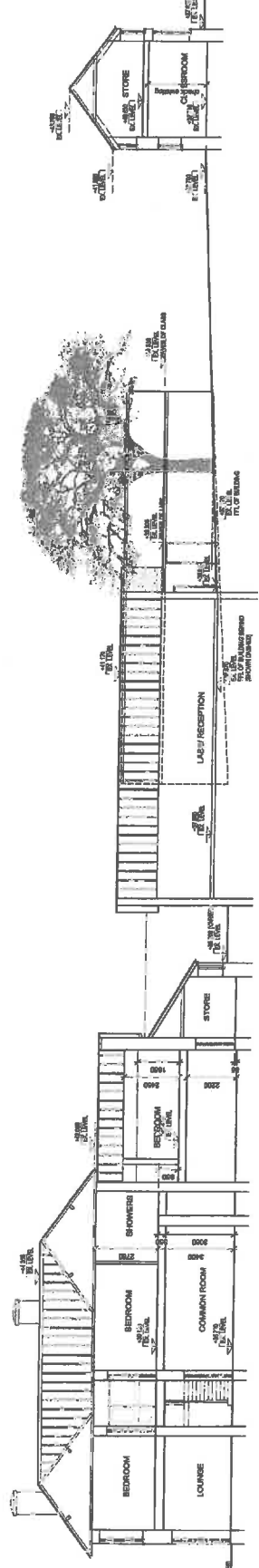
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EXISTING SECTION B - B

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03 EXISTING SECTION C - C

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NP 12 0 27

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18 JAN 2012			
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HEAN CASTLE ESTATE			
NETHERWOOD			
EXISTING SECTIONS			
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Sheet	1071A	S200	
Author	PJP	06/2011	

- KEY**
- NEW TREE
 - EXISTING TREE
 - EXISTING TREE TO BE REMOVED
 - GRAVEL SURFACING
 - PAVING
 - ASPHALT SURFACING
 - PROPOSED LEVELS
 - EDGE OF WOODLAND

NP 12 0 27

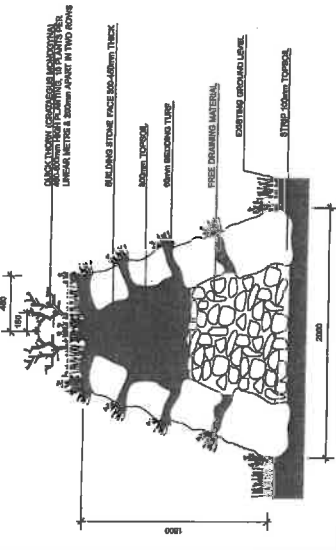
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THE GREEN
Pembrokeshire
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SA11 1PL
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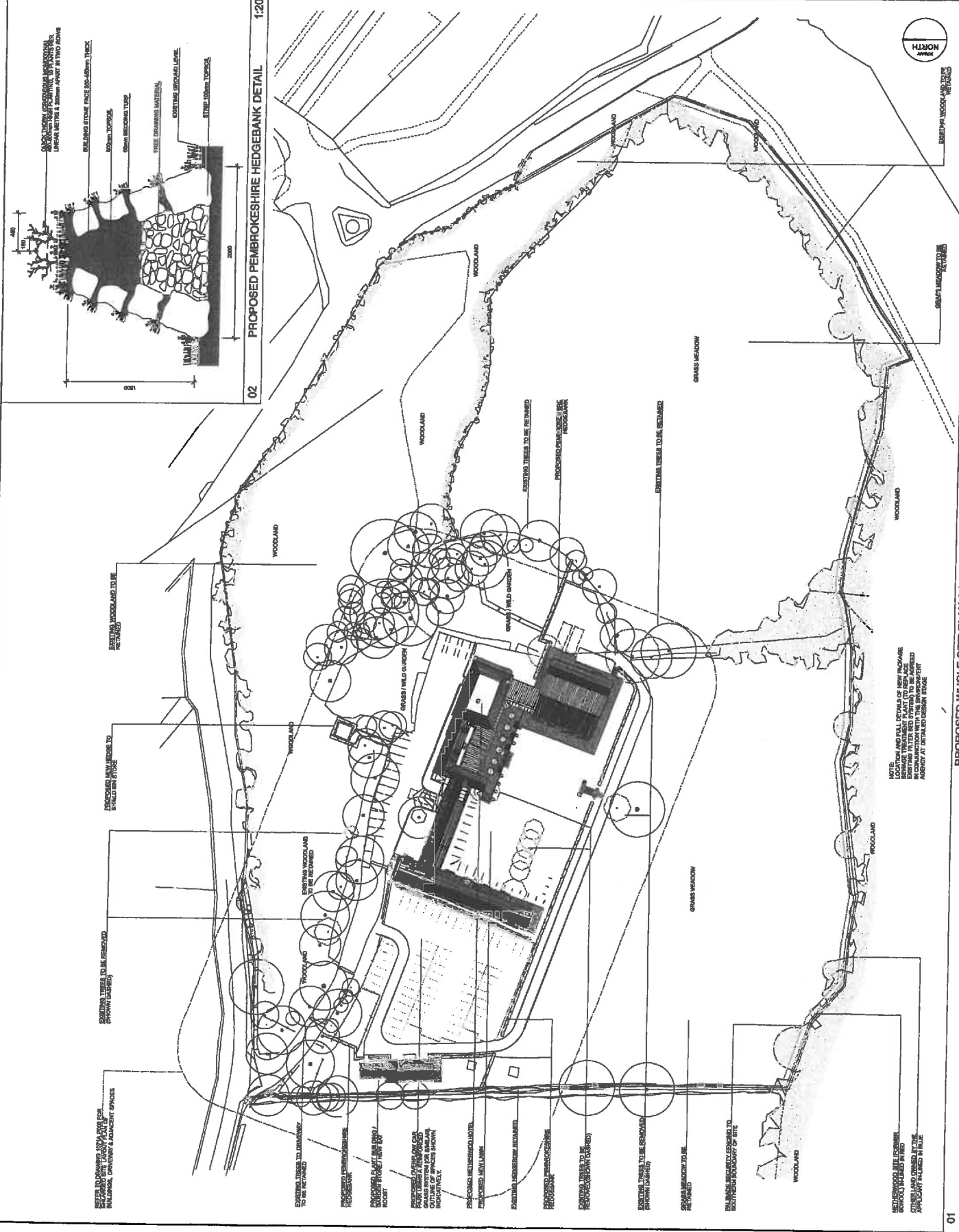
HEAN CASTLE ESTATE
NETHERWOOD

PROPOSED SITE PLAN / LANDSCAPING

1071A
EOK
JAN 2012
PO25
A



02 PROPOSED PEMBROKESHIRE HEDGEBANK DETAIL 1:20



01 PROPOSED WHOLE SITE PLAN & LANDSCAPING WORKS 1:500

NOTE: LOCATION AND FULL DETAILS OF NEW PACKAGE BRINE TREATMENT PLANT TO BE AGREED IN CONSULTATION WITH THE ENVIRONMENT AGENCY AT DETAIL DESIGN STAGE

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

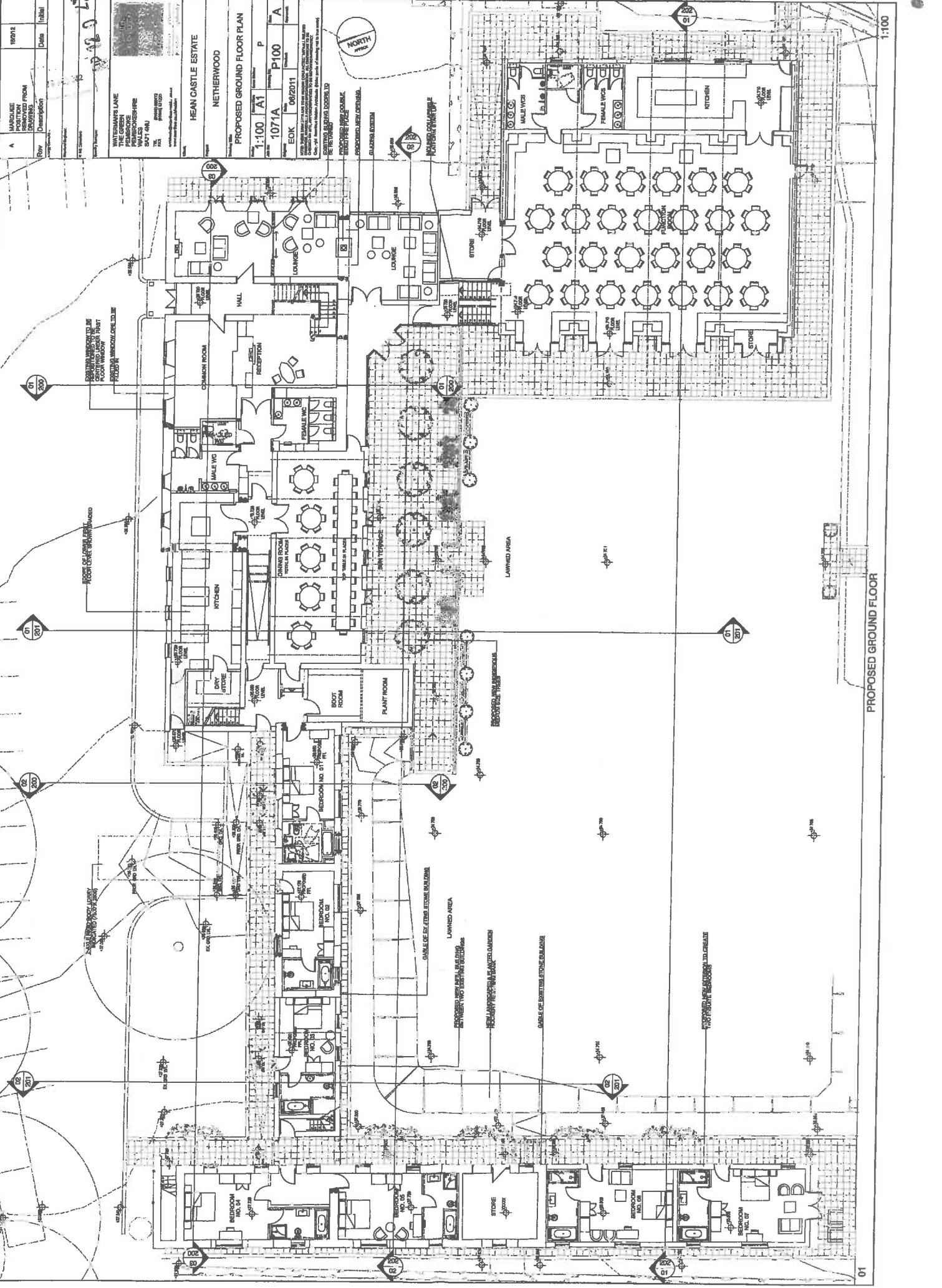
EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED

EXISTING WOODLAND TO BE RETAINED



192712	19/07/12	DATE
1071A	10/07/11	DATE
MARDOLINE		DESIGNER
POSITION		DESCRIPTION
DRAWING		DESCRIPTION
NO.		DATE

HEAN CASTLE ESTATE
NETHERWOOD
PROPOSED GROUND FLOOR PLAN
Scale: 1:100
EDK 09/2011
P
A
1071A P100 A

WATERMARK LANE
THE GREEN
PEASBONE
WALSLEY
WALSLEY
S40 2AA
0121 765220
www.watermark.co.uk

ROOFING: POLYURETHANE INSULATION
STRUCTURE: CONCRETE
FOUNDATION: CONCRETE

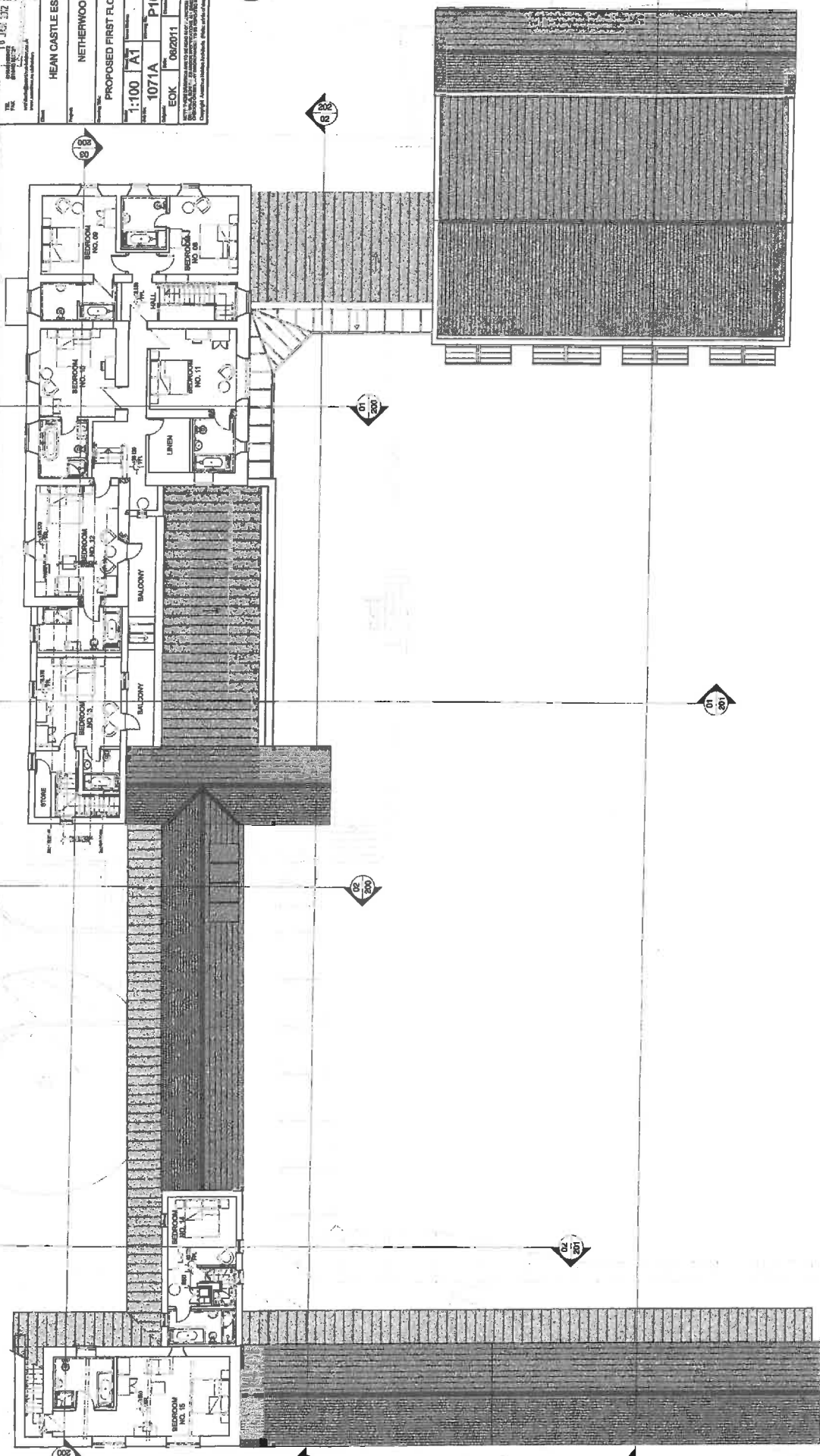
1:100
01/200
01/201
02/200
02/201

01
02

PROPOSED GROUND FLOOR

1:100

Rev	Description	Date	Initial
<p>WATERWAYS LANE THE CROFTS PERMANCE WALLES SATYARD 18 JUL 2011</p>			
<p>HEAN CASTLE ESTATE NETHERWOOD</p>			
<p>PROPOSED FIRST FLOOR PLAN</p>			
Scale	1:100	Sheet	A1
Project	1071A	Phase	P
Client	EOK	Date	08/20/11
<p>NOTE: THIS DRAWING IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p>			

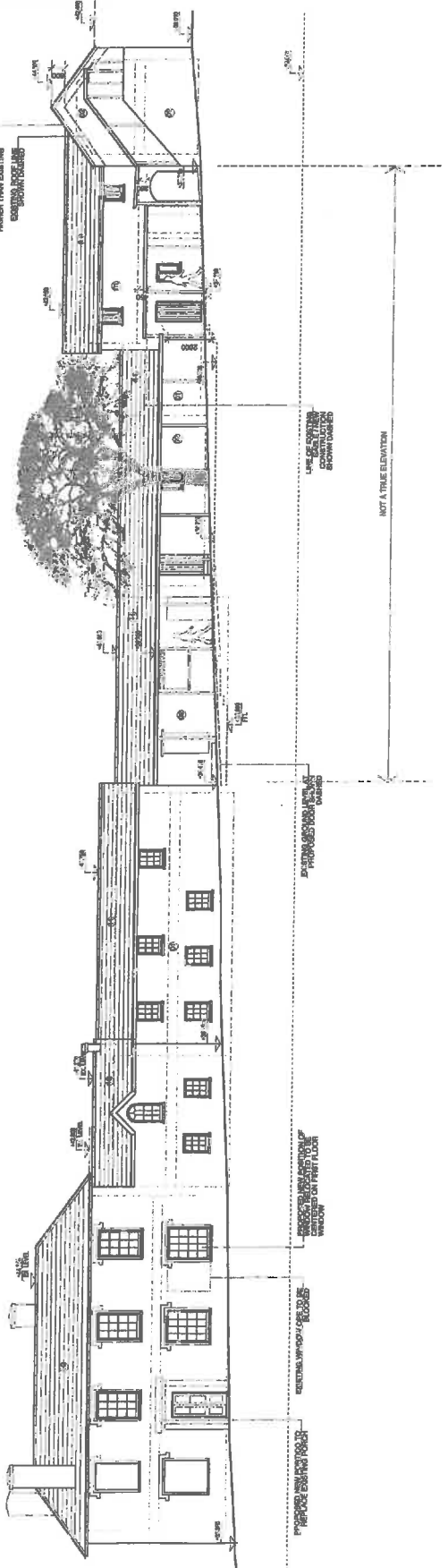


1:100

PROPOSED FIRST FLOOR

01

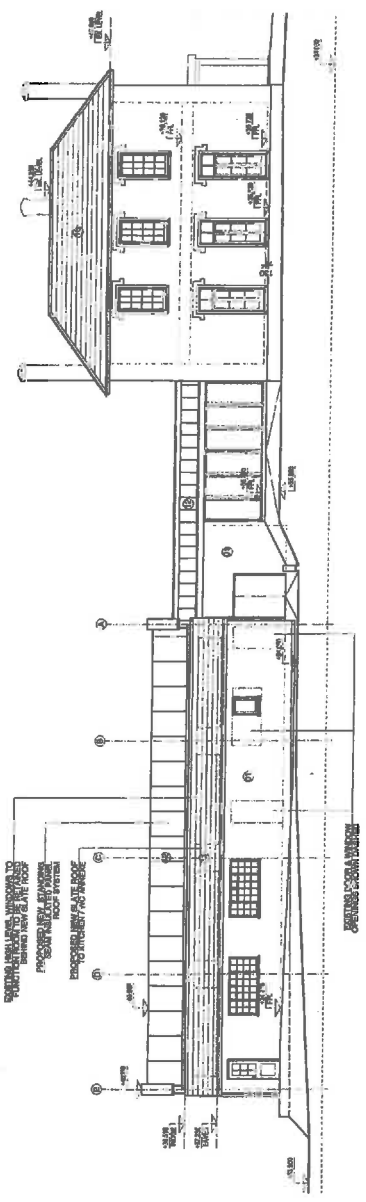
- REMARKS:**
- 1) FINISHED CEILING HEIGHTS TO BE RETAINED AND REPAIRED WHERE REQUIRED.
 - 2) ROOFING TO BE REPLACED BY CORRUGATED GALVANIZED STEEL WITH 100% IMPERVIOUS WATER PROOF MEMBRANE WITH ROLLS.
 - 3) ROOFING TO BE REPLACED BY CORRUGATED GALVANIZED STEEL WITH 100% IMPERVIOUS WATER PROOF MEMBRANE WITH ROLLS.
 - 4) ROOFING TO BE REPLACED BY CORRUGATED GALVANIZED STEEL WITH 100% IMPERVIOUS WATER PROOF MEMBRANE WITH ROLLS.
 - 5) ROOFING TO BE REPLACED BY CORRUGATED GALVANIZED STEEL WITH 100% IMPERVIOUS WATER PROOF MEMBRANE WITH ROLLS.



PROPOSED NORTH ELEVATION

01

NP 12 0 27

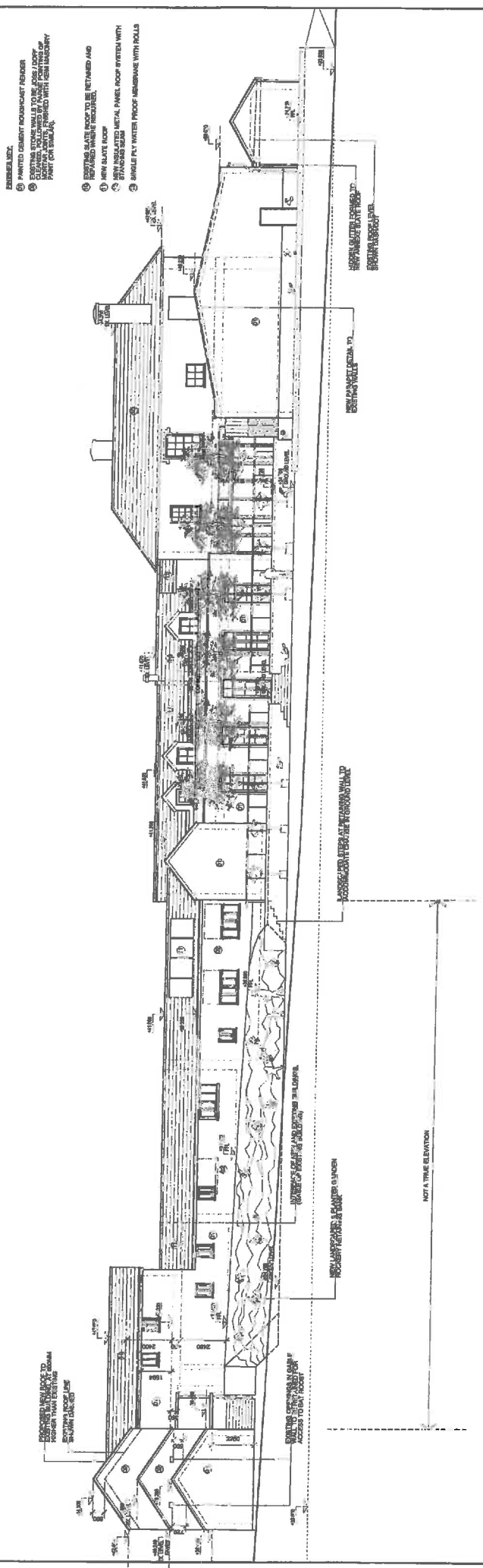


PROPOSED EAST ELEVATION

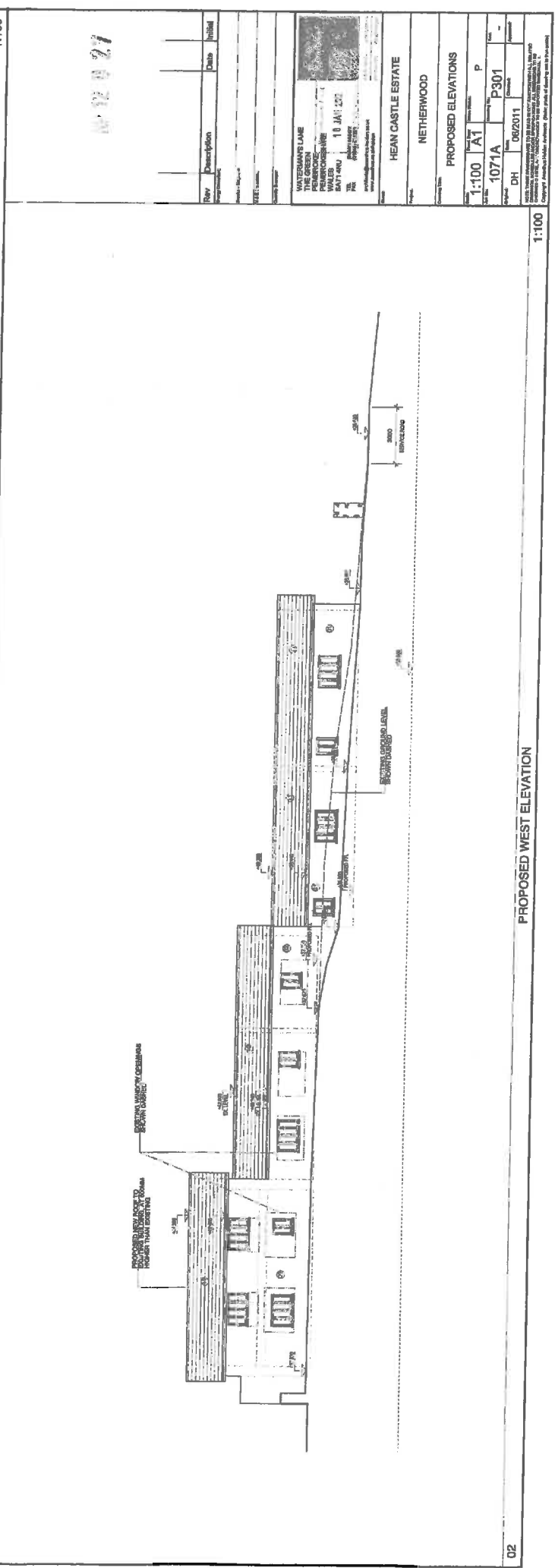
02

Rev	Description	Date	Initial

WATERWAYS LAKE PRESBYTERIAN CHURCH 3847 HWY 101 WATERWAYS LAKE, BC V0N 1M0		10 JAN 2011
HEAN CASTLE ESTATE NETHERWOOD		
PROPOSED ELEVATIONS		
Scale	1:100	Sheet
Client	1071A	Project
Contract	DH	Phase
Drawn	06/2011	Revised
Checked		Approved



PROPOSED SOUTH ELEVATION
1:100



PROPOSED WEST ELEVATION
1:100

- EXEMPLETICA
- ① PAINTED ORIENTAL BROWN/BLACK FINISH
 - ② EXISTING STONE WALLS TO BE REPAIRED
 - ③ NEW SLATE ROOF
 - ④ NEW INSULATED METAL PANEL ROOF SYSTEM WITH 100MM INSULATION
 - ⑤ SHINGLE PVC WATER PROOF MEMBRANE WITH ROLLS

WATERMANS LANE
THE GREEN
NETHERwood
Pembrokeshire
Wales
SA11 1NU
10 JAN 2011

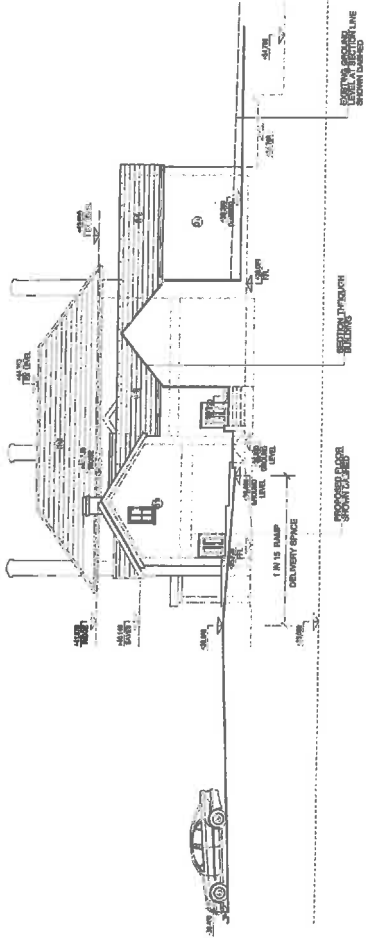
HEAN CASTLE ESTATE
NETHERWOOD
PROPOSED ELEVATIONS

1:100 A1 P
1071A P-301
DH 08/2011

1071A

Rev	Description	Date	Initial

- GENERAL NOTES:**
- 1) PAINTED CEMENT ROUGHCAST RENDER
 - 2) EXISTING STONE WALLS TO BE REPAIRED / ROOF REPAIRS TO BE MADE TO ALL ROOFING MATERIALS TO BE REPAIRED WITH NEW MATERIALS TO BE SUPPLIED.
 - 3) EXISTING SLATE ROOF TO BE RETAINED AND REPAIRED WITH NEW MATERIALS.
 - 4) NEW SLATE ROOF
 - 5) NEW INSULATED METAL PANEL ROOF SYSTEM WITH SINGLE PLY WATER PROOF MEMBRANE WITH ROLLS



PROPOSED WEST ELEVATION

1:100

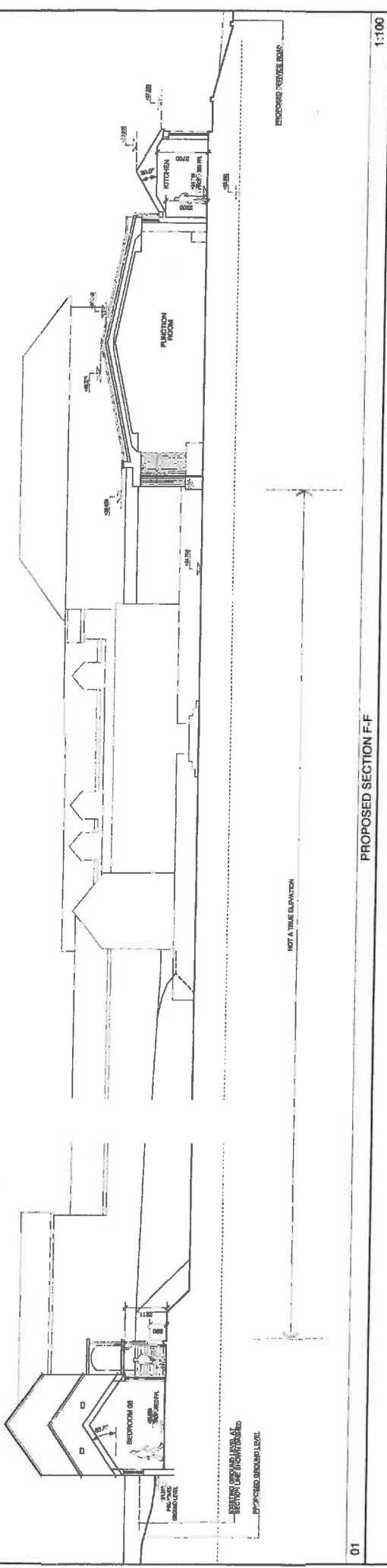
01

NP 12 0 27

Rev	Description	Date	Initial

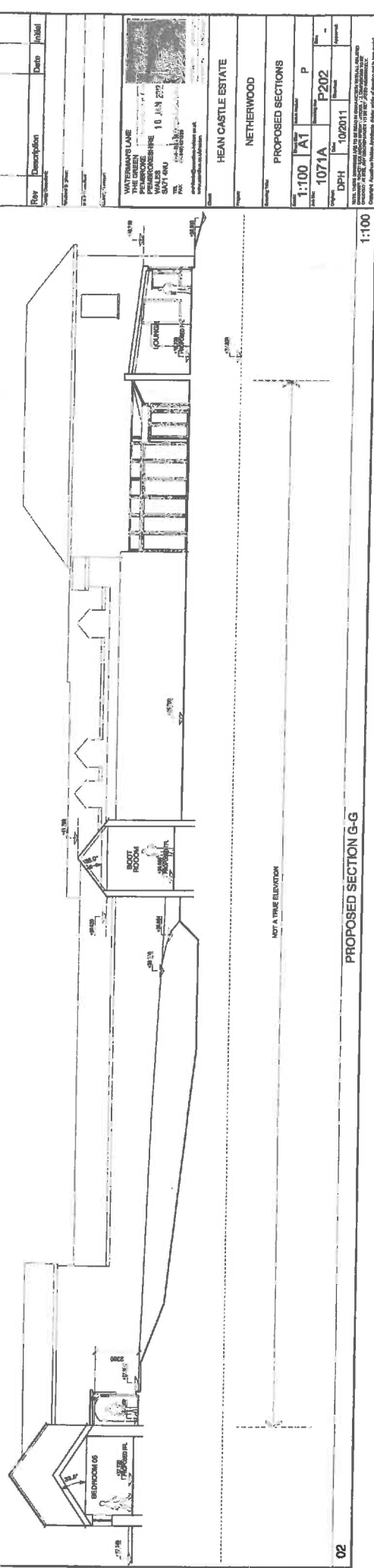
WATERMANS LANE THE BUCKLE PENRHYNARWEN SAFY 1481 10 JAN 27	
HEAN CASTLE ESTATE NETHERWOOD	
PROPOSED ELEVATIONS	
Scale	1:100
Sheet No	A1
Project No	1071A
Client	DH
Date	06/2011
Drawn by	P302
Checked by	

NOTES: THESE ELEVATIONS ARE TO BE USED FOR INFORMATION ONLY. ALL WORK SHOULD BE VERIFIED ON SITE BEFORE COMMENCING WORK. THE DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



PROPOSED SECTION F-F
1:100

NP 12 0 27

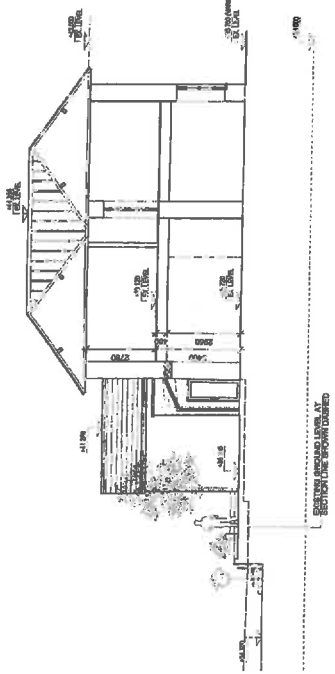


PROPOSED SECTION G-G
1:100

Rev	Description	Date	Author

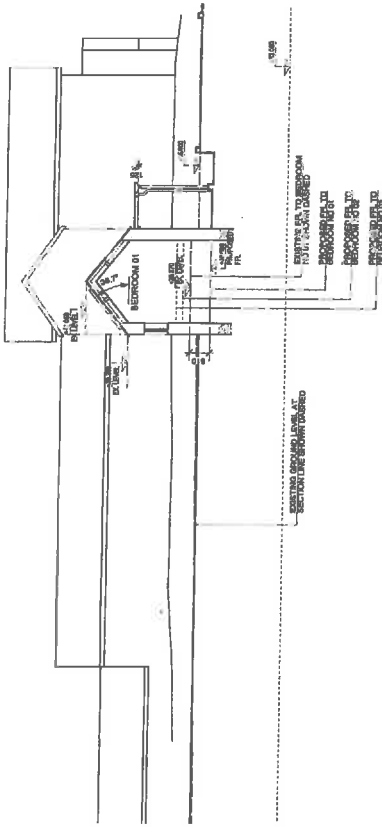
WATERWAYS LAKE PROPOSED SECTION F-F 10 JUL 2011 WATERWAYS LAKE 1071A 10/2011 DPH		
HEAN CASTLE ESTATE NETHERWOOD		PROPOSED SECTIONS P P202
Scale: 1:100 Drawing No: 1071A	Date: 10/2011 Author: DPH	Project: P Section: P202

THIS DRAWING IS THE PROPERTY OF WATERWAYS LAKE AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF WATERWAYS LAKE. WATERWAYS LAKE IS NOT RESPONSIBLE FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS, OR ANY OTHER DAMAGES, ARISING FROM THE USE OF THIS DRAWING.



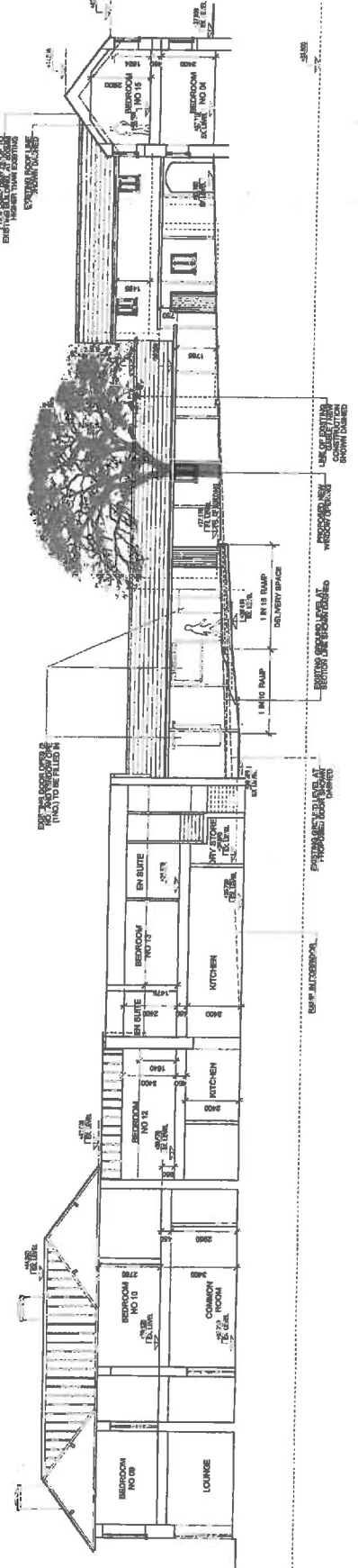
PROPOSED SECTION A - A

1:100 02



PROPOSED SECTION B - B

1:100



PROPOSED SECTION C - C

1:100

NP 12 0 27

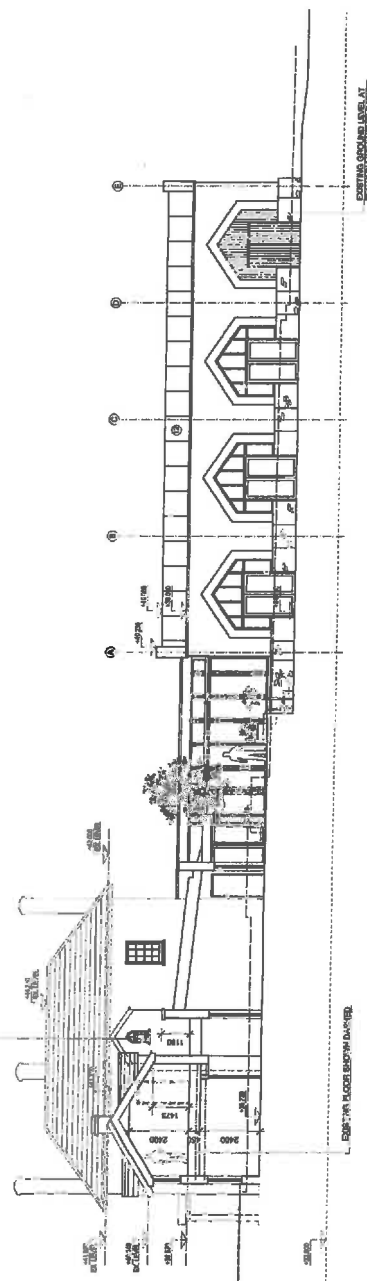
Rev	Description	Date	Author

WATERMARKS LARE 100 GREEN MEMBERSHIP FEE 10 24H 797 2101 WATSON WATSON VIC 3211 TEL 03 9462 9020 WWW.WATERMARKS.COM.AU		HEAN CASTLE ESTATE NETHERWOOD PROPOSED SECTIONS Scale: 1:100 Drawing No: A1 Project No: 1071A P Date: 08/2011 P200 Author: DRH	
--	--	---	--

EMERGENCY:

- 1) PAINTED CONCRETE ROOF/CEILING FINISH
- 2) EXISTING STONE WALLS TO BE CORNED / ROOF REPAIRS TO BE MADE WITH NEW BRICKWORK / MORTAR FINISH FINISHED WITH NEW MASONRY PAINT (OPTIONAL)
- 3) EXISTING SLATE ROOF TO BE RETAINED AND REPAIRED WHERE REQUIRED.
- 4) NEW SLATE ROOF
- 5) NEW BRICKWORK TO BE MATCHED TO EXISTING WORK
- 6) NEW PAINTED METAL PANEL ROOF SYSTEM WITH SINGLE PLY WATER PROOF MEMBRANE WITH GULLS

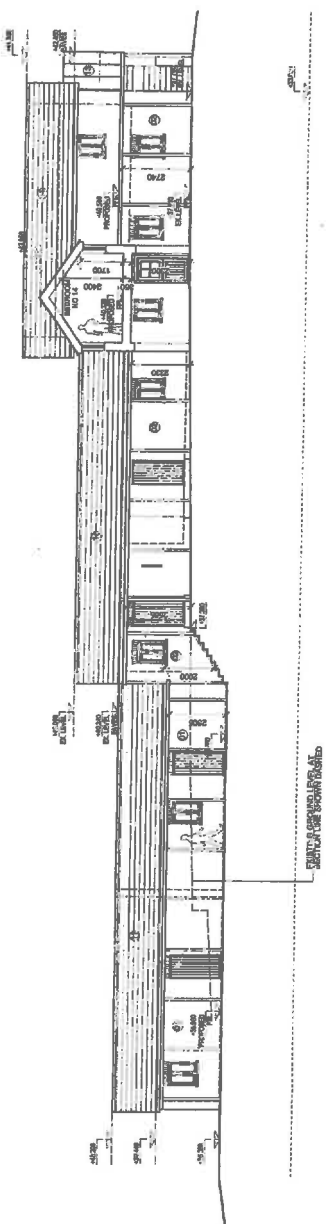
REPLACE EXISTING ROOF WITH NEW BRICKWORK ROOFING AND NEW BRICKWORK ROOFING TO BE MATCHED TO EXISTING WORK. REFER TO SHEET 01 FOR PROPOSED DETAIL.



PROPOSED SECTION D - D

1:100

NP 12 0 21



PROPOSED SECTION E - E

1:100

Row	Description	Date	Initial

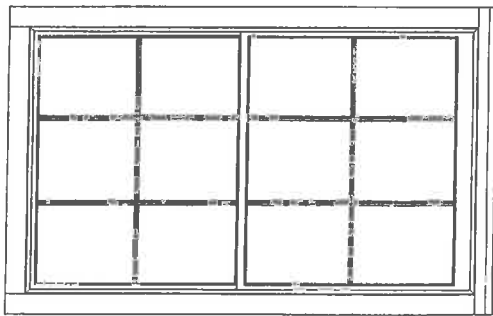
WATERMARKS LANE
13 JUNE 2011
RESIDENTIAL ARCHITECTURE
13 JUNE 2011
13 JUNE 2011
13 JUNE 2011
13 JUNE 2011

HEAN CASTLE ESTATE
NETHERWOOD
PROPOSED SECTIONS

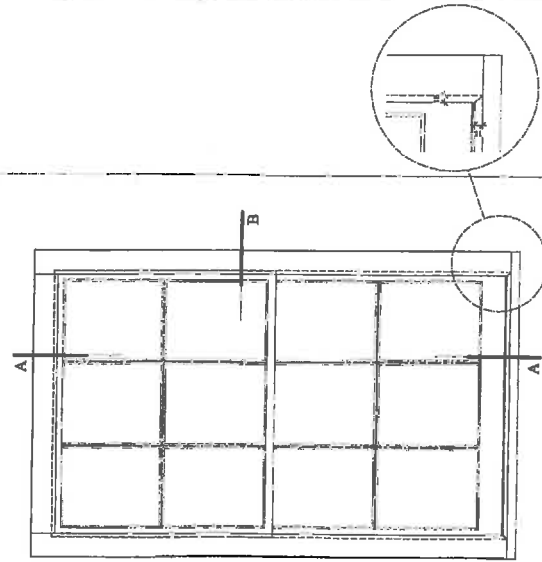
1:100 AT P
1071A P201
DPH 08/2011

HEAN CASTLE ESTATE
NETHERWOOD
PROPOSED SECTIONS

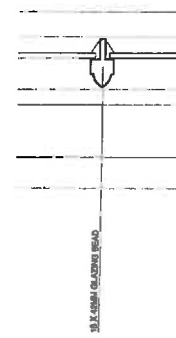
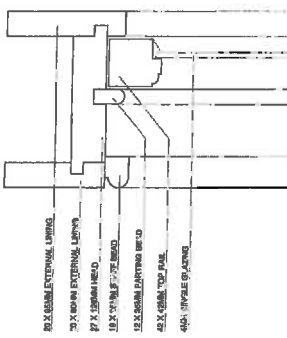
1:100 AT P
1071A P201
DPH 08/2011



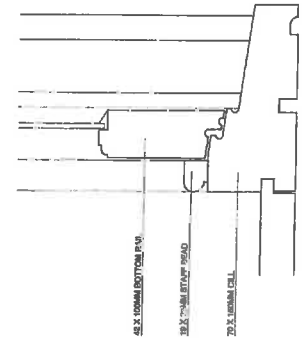
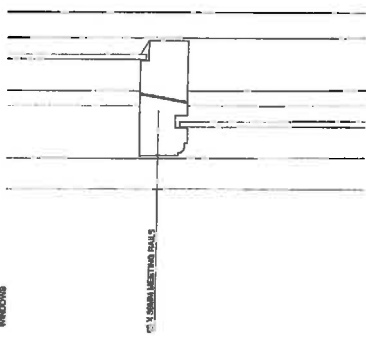
02 INTERNAL ELEVATION 1:10



01 EXTERNAL ELEVATION 1:10 03 1:5 D4 1:2 05 SECTION A/A

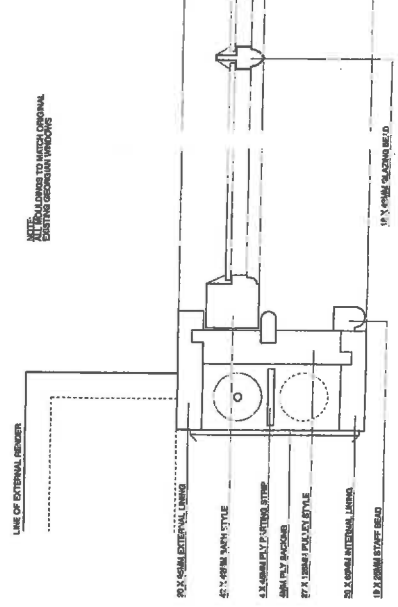


NOTE: ALL DIMENSIONS TO MATCH ORIGINAL EXISTING WINDOW



EXTERNAL LINING / CELL ADJUSTMENT TO BE MADE TO MATCH ORIGINAL WINDOW DETAILING

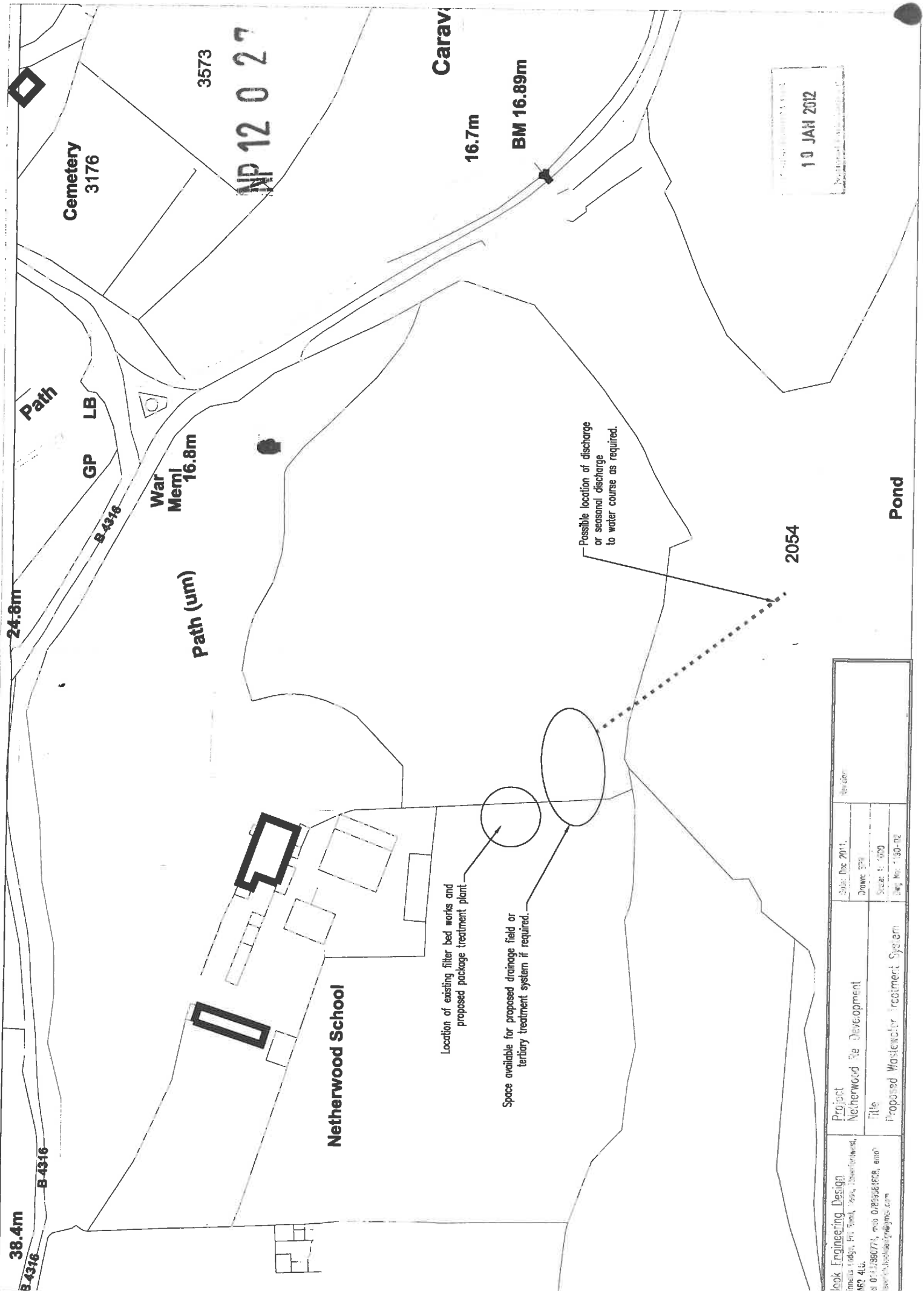
NOTE: ALL DIMENSIONS TO MATCH ORIGINAL EXISTING WINDOW



PLAN DETAIL 1:2

Rev	Description	Date	Initial

WATERMANS LANE THE GREEN PETERBOROUGH NORTHANTS NN7 4BJ TEL: 01535 553222 WWW.WATERMANS.CO.UK		10 JUN 2012 1071A P800
HEAN CASTLE ESTATE NETHERWOOD		
PROPOSED WINDOW DETAILS		
Drawing No: 1071A Revision: P800 Date: 01/2012 Drawn by: EOK	Scale: A1 Project: P	Sheet: 1 of 1 Total: 1 of 1



10 JAN 2012

Hook Engineering Design Specialists in Civil, Environmental, Survey, Structural, Mechanical, Electrical, and Energy Engineering 580-416 01 733 980773, 01 733 980774, 01 733 980775 hedd@hookeng.com	Project Netherwood Se Development	Date: Dec 2011 Drawn: CDF	Revision
	Title Proposed Wastewater Treatment System	Scale: 1:500 Draw No: 1190-02	

Location of existing filter bed works and proposed package treatment plant.

Spaces available for proposed drainage field or tertiary treatment system if required.

Possible location of discharge or seasonal discharge to water course as required.

Pond

2054

Netherwood School

Cemetery 3176

War Meml 16.8m

16.7m

BM 16.89m

Caravan

NP 12 0 27

3573

24.8m

38.4m

Path

GP LB

B-4316

Path (um)

B-4316

Rev	Description	Date	Initial

WYNTON LANE THE GRANGE PEABOROUGH NETHERWOOD WALES SA71 0AL TEL: 01753 871111 WWW.MORRISONSCONSTRUCTION.CO.UK	
HEAN CASTLE ESTATE NETHERWOOD	
DEMOLITION - SITE LAYOUT PLAN DRAWING NO: 1071A SCALE: 1:100 DATE: 04/2012 PROJECT: P0050	SHEET NO: 1 OF: 1
EOK 04/2012	
KEY	

NOTE: TO DEMONSTRATE BLOCKS IN PLAN FOR ADDITIONAL INFORMATION AT LARGER SCALE

EXISTING WALLS TO BE DEMOLISHED
 EXISTING ROOFS TO BE DEMOLISHED
 EXISTING ROOFS TO BE DEMOLISHED
 EXISTING ROOFS TO BE DEMOLISHED

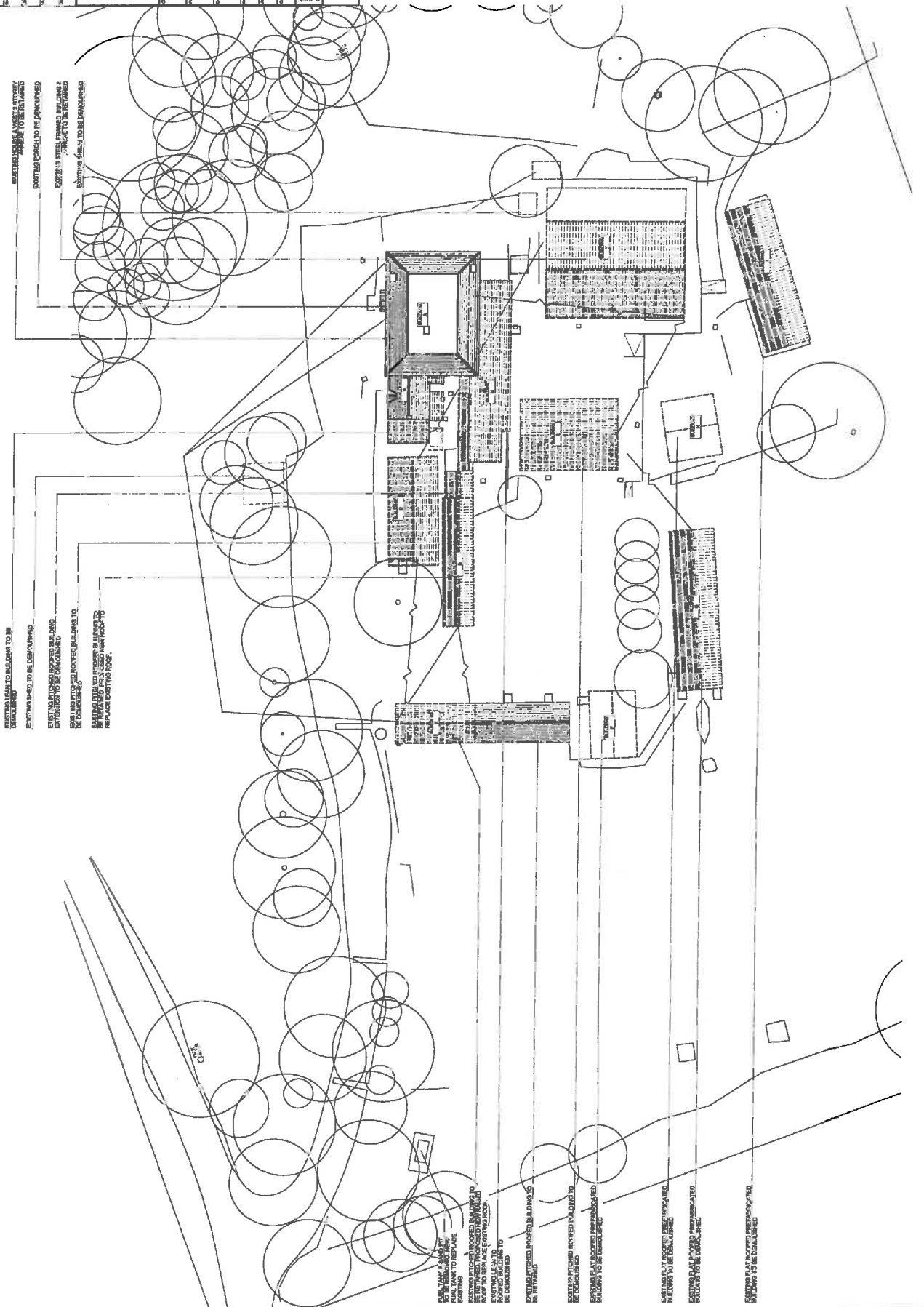
EXISTING WALLS TO BE DEMOLISHED
 EXISTING ROOFS TO BE DEMOLISHED
 EXISTING ROOFS TO BE DEMOLISHED
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 EXISTING ROOFS TO BE DEMOLISHED
 EXISTING ROOFS TO BE DEMOLISHED



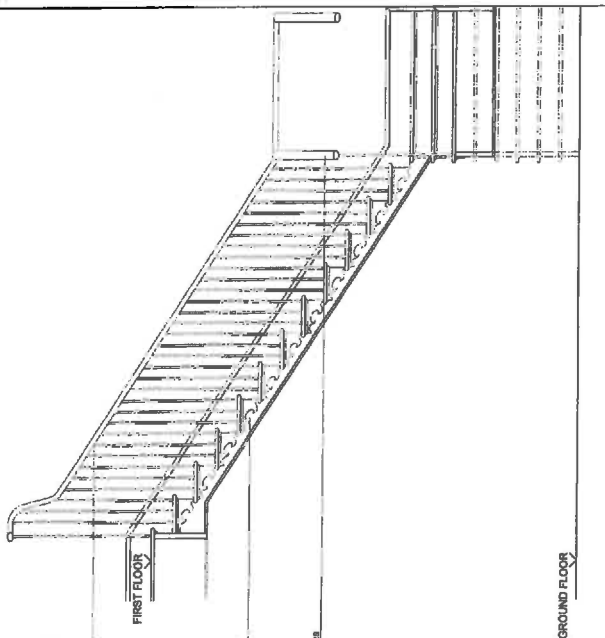
Rev	Description	Date	Initial

VAN DERLAAN LANE THE GRACE PERIMETER WALLS BATT 140U 100% 04/2012	
HEAN CASTLE ESTATE NETHERWOOD	
DEMOLITION TO GROUND FLOOR PLAN	
Scale:	1:100
Project:	1071A
Client:	P
Design:	EOK
Date:	04/2012
Drawn by:	[Signature]
Checked by:	[Signature]
Approved by:	[Signature]
KEY DEMOLITION	



DEMOLITION - GROUND FLOOR PLAN

1:100

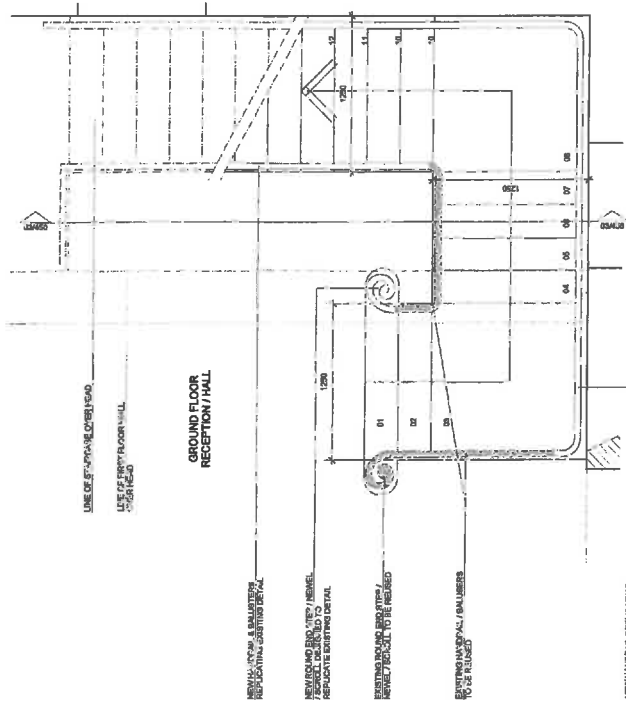


NEW HANDRAIL & BALUSTERS
REPLACING EXISTING DETAIL

NEW CITY KITCHEN BRACKETS
AND CABS TO MATCH
EXISTING STAIR

EXISTING HANDRAIL & BALUSTERS
TO BE REUSED

03 PROPOSED NEW STAIRCASE - SECTION / ELEVATION



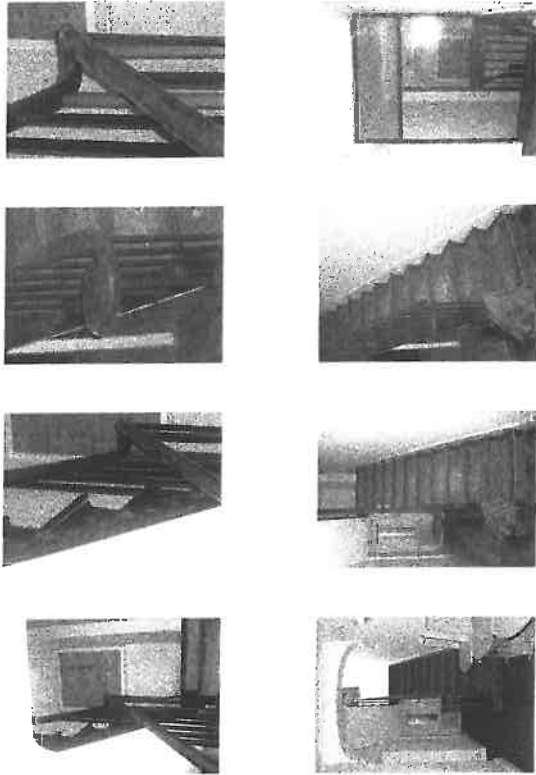
NEW HANDRAIL & BALUSTERS
REPLACING EXISTING DETAIL

EXISTING HANDRAIL & BALUSTERS
TO BE REUSED

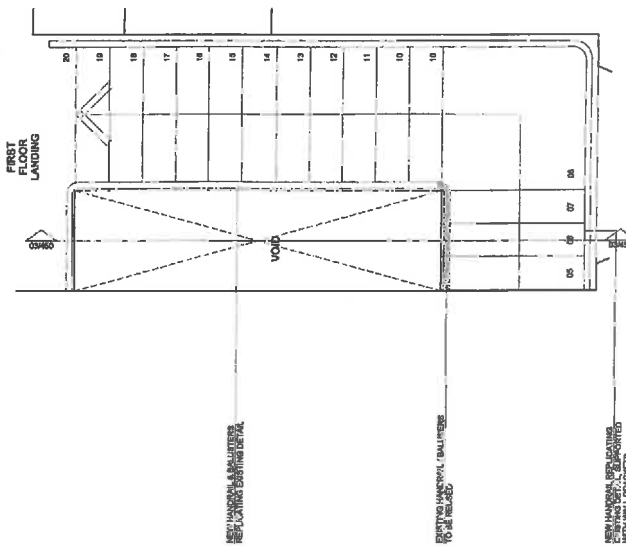
NEW HANDRAIL & BALUSTERS
REPLACING EXISTING DETAIL

EXISTING HANDRAIL & BALUSTERS
TO BE REUSED

01 PROPOSED NEW STAIRCASE - GROUND LEVEL PLAN



PHOTOS OF EXISTING STAIR - RECORD OF DETAILS & ELEMENTS



NEW HANDRAIL & BALUSTERS
REPLACING EXISTING DETAIL

EXISTING HANDRAIL & BALUSTERS
TO BE REUSED

NEW HANDRAIL & BALUSTERS
REPLACING EXISTING
DETAIL WITH WALL BRACKETS

1:20 PROPOSED NEW STAIRCASE - FIRST FLOOR LEVEL PLAN

NOTE:
PROPOSED NEW CITY KITCHEN BRACKETS AND BALUSTERS SYSTEMS FOR THE EXISTING STAIRCASE ARE TO BE IDENTICAL TO THE EXISTING STAIRCASE.
- ALL NEW WORK SHALL BE IDENTICAL TO THE EXISTING STAIRCASE.
- THE BALUSTING CONTRACTOR SHALL BE REQUESTED TO IDENTIFY THE EXISTING STAIRCASE ELEMENTS OF THE EXISTING STAIRCASE.
- IT IS PROPOSED WHERE BALUSTERS, TO BE REPLACED WITH NEW, TO BE IDENTICAL TO THE EXISTING STAIRCASE.
- THE EXISTING HANDRAIL, BALUSTERS, TREADS AND GIRDERS SHALL BE REPLACED WITH METAL ON AFRICAN WOOD.
- THE EXISTING STAIRCASE SHALL BE IDENTICAL TO THE EXISTING STAIRCASE.
- ALL NEW WORK SHALL BE IDENTICAL TO THE EXISTING STAIRCASE.
- ALL NEW WORK SHALL BE IDENTICAL TO THE EXISTING STAIRCASE.
- ALL NEW WORK SHALL BE IDENTICAL TO THE EXISTING STAIRCASE.
- ALL NEW WORK SHALL BE IDENTICAL TO THE EXISTING STAIRCASE.
- APPROXIMATELY 100% TO 150%.
- APPROXIMATELY 100% TO 150%.

KEY
PROPOSED SCOPE OF DETAIL AND FABRIC TO BE IDENTICAL TO THE EXISTING STAIRCASE ON PROPOSED NEW STAIRCASE.

Date	Description	Date	Initial
WATERMANS LANE THE GREEN PERKINS + WILSON ARCHITECTS 1071A STATION WINDYBUSH			
HEAN CASTLE ESTATE NETHERWOOD PROPOSED STAIRCASE			
Client Ref:	1071A	Project Ref:	P430
Drawn:	EOK	Checked:	DJZ/2012
Scale:	A1	Sheet:	P

HEAN CASTLE ESTATE
NETHERWOOD
PROPOSED STAIRCASE