

**Application Ref: NP/12/0155**

<b>Application Type</b>	Full
<b>Grid Ref:</b>	SM86041869
<b>Applicant</b>	Mr & Mrs Ifor Jones
<b>Agent</b>	Mr Meirion Williams, Pembroke Design Ltd
<b>Proposal</b>	Extension to dwelling and alterations to garage and workshop
<b>Site Location</b>	The Champions, Nolton Haven, Haverfordwest, Pembrokeshire, SA62 3NH
<b>Case Officer</b>	Emma Langmaid

**Summary**

The application site is an existing single storey L-shaped dwelling, with a detached garage set in a large garden plot to the north east of the beach at Nolton Haven. The access road from the beach towards the application rises fairly steeply such that the application site is above Nolton Haven and has commanding views over the surrounding area. The application proposes a single storey extension to the north eastern elevation to accommodate an additional bedroom, plus alterations to an existing garage/workshop to include a greenhouse. The main considerations are visual amenity and neighbouring amenity and it is considered that the proposed extension and alterations are acceptable and the application is recommended for approval, subject to conditions and informatives.

**Consultee Response**

**Environment Agency Wales:** No objection - Planning Advice Note 1.

**Nolton & Roch Community Council:** No Response Received

**Public Response**

The application has been appropriately advertised, and no responses have been received.

**Policies considered**

LDP Policy 01 - National Park Purposes and Duty

LDP Policy 07 - Countryside

LDP Policy 08 - Special Qualities

LDP Policy 11 - Protection of Biodiversity

LDP Policy 13 - Historic Landscapes Parks and Gardens

LDP Policy 15 - Conservation of the Pembrokeshire Coast National Park

LDP Policy 29 - Sustainable Design

LDP Policy 30 - Amenity

LDP Policy 34 - Flooding and Coastal Inundation

PPW4 Chapter 04 - Planning for Sustainability

SPG03 - Sustainable Design

SPG09 - Building Extensions

TAN 12 - Design

TAN 15 - Development and Flood Risk

TAN 22 - Planning for Sustainable Buildings

### **Officer's Appraisal**

#### **Background**

This application proposes an extension to the existing dwelling to form an additional bedroom and alterations to the existing garage and workshop. A pre-application enquiry was received in December 2011 with regard to these proposals and a response sent in February 2012 was broadly supportive of the proposals, stating it would be preferable for timber to be used rather than UPVC which is considered to be less traditional in its appearance and less sustainable as a material. The application is accompanied by a Transport Statement and Energy, Water and Drainage Efficiency questionnaire.

#### **History**

No planning history.

Pre- app PA/11/0391 and PA/11/0566

#### **Constraints**

- Special Area of Conservation – within 500m
- Technical Advice Note 15
- Biodiversity Issue
- Coal Referral Area – Data Subject to change
- Coast Standing Advice Area
- Safeguarding Zone
- Potential for surface water flooding

#### **Current Proposal**

The application site is an existing single storey L-shaped dwelling, with a detached garage set in a large garden plot to the north east of the beach at Nolton Haven. The access road from the beach towards the application rises fairly steeply such that the application site is above Nolton Haven and has commanding views over the surrounding area.

The existing dwelling currently has 3 bedrooms and the first part of the proposal is to extend this to 4 bedrooms. This involves the construction of a single storey extension to the north eastern elevation of the property (where

there is an existing greenhouse), requiring some internal alterations. The extension will be of a similar construction to the main dwelling, with the pitch of the roof matching, albeit slightly set down. Proposed materials include painted roughcast render walls and plain concrete interlocking tiles, to match existing. Windows and doors are proposed to be white UPVC; including a small sun room proposed on the southern elevation to take advantage of views from the property. The second part of the proposal includes an alteration to the existing garage which currently is a garage, with workshop and covered store – retaining the covered store and garage and altering the workshop to a store room and greenhouse. This involves filling in the existing arched openings with glazed screens and altering the end of the building to have glazed door/screens and a section of roof to be glazed.

The application is on the agenda as the applicant is the Authority's former Director of Conservation & Planning and is currently doing some work for the Authority.

### **Key Issues**

The application raises the following planning matters:-

- Visual Amenity;
- Amenity and Privacy;
- Sustainability Matters;
- Other considerations.

#### *Visual Amenity:*

Policy 8 of the Pembrokeshire Coast National Park Local Development Plan (LDP) refers to the special qualities of the National Park and lists priorities to ensure that these qualities will be protected and enhanced.

Policy 15 of the LDP seeks the conservation of the Pembrokeshire Coast National Park with criteria 'a' and 'b' resisting development that would cause significant visual intrusion and/or, that would be insensitively and unsympathetically sited within the landscape. Policy 30 of the LDP seeks to avoid development that is of an incompatible scale with its surroundings (criterion 'b') or is visually intrusive (criterion 'd').

The proposed extension to the north eastern elevation of the existing dwelling is considered to be acceptable with regard to impact on visual amenity. Whilst the application site is elevated and therefore visible, the existing property is of a modern construction and single storey. The proposed extension respects the appearance of the property and would not appear insensitive or unsympathetic in the landscape. Materials are chosen largely to match existing, although the use of UPVC for windows and doors has been proposed. Whilst pre-application advice stated it would be preferable to see the use of timber; the use of UPVC particularly for what is a modern property is accepted.

The proposed alterations to the existing garage and workshop to form a greenhouse are considered to be acceptable. As a standalone proposal they would appear visually acceptable; as part of this proposal the proposed extension would largely act as a screen to the changes from longer range views. Again whilst the use of UPVC was advised against, it has been proposed and is accepted.

Overall, the proposed extension and alterations are considered acceptable with regard to impact on visual amenity. Whilst the topography is such that the site is in an elevated position, the extension is relatively minor and has been designed to match and complement the existing appearance of the host dwelling. The changes to the existing garage and workshop are relatively minor, and the change to make a section of the building a greenhouse, is a replacement to an existing greenhouse on the site, lost due to the extension.

*Amenity and Privacy:*

Policy 30 of the LDP refers to 'amenity' in general seeking to avoid incompatible development and significant adverse impact upon the amenity enjoyed by neighbouring properties particularly where the development is an inappropriate use, is of a scale incompatible with its surroundings, development leads to an increase in traffic, noise, odour or light or the development is visually intrusive.

The application site is in a relatively isolated location and set in a large plot. Due to this and the site and surrounding areas topography it is considered that there will be no impact on neighbouring amenity from the proposals. Whilst 'Campions' is set higher than the adjacent neighbours 'Furze Mill' and 'Ty Felin' each of these dwellings sit in generous plots with mature planting and are well distanced from one another.

*Sustainability Matters:*

Policy 29 of the LDP requires applications for extension to buildings to make energy, water and drainage efficiency improvements where appropriate and practicable. The completed energy efficiency measures checklist shows that the applicants have completed some, but not all of the measures. They proposed that all outstanding work will be completed (where applicable). As such, it is considered that the proposal meets the energy, water and drainage efficiency requirements of policy 29 of the LDP and the supplementary planning guidance and the appropriate condition to ensure compliance will be attached.

*Other considerations:*

The property has been picked up as being within TAN 15 Area – however, an extract of the Development Advice Map from TAN15 shows the property to be outside the area. EAW have been consulted and have no objection but suggest Planning Advice Note 1 is attached to any permission.

**Conclusion**

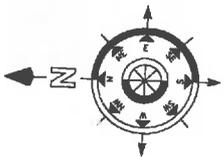
The proposed extensions and alterations to the property are considered to be acceptable with regard to visual amenity and neighbouring amenity and as such the proposal is recommended for approval.

**Recommendation**

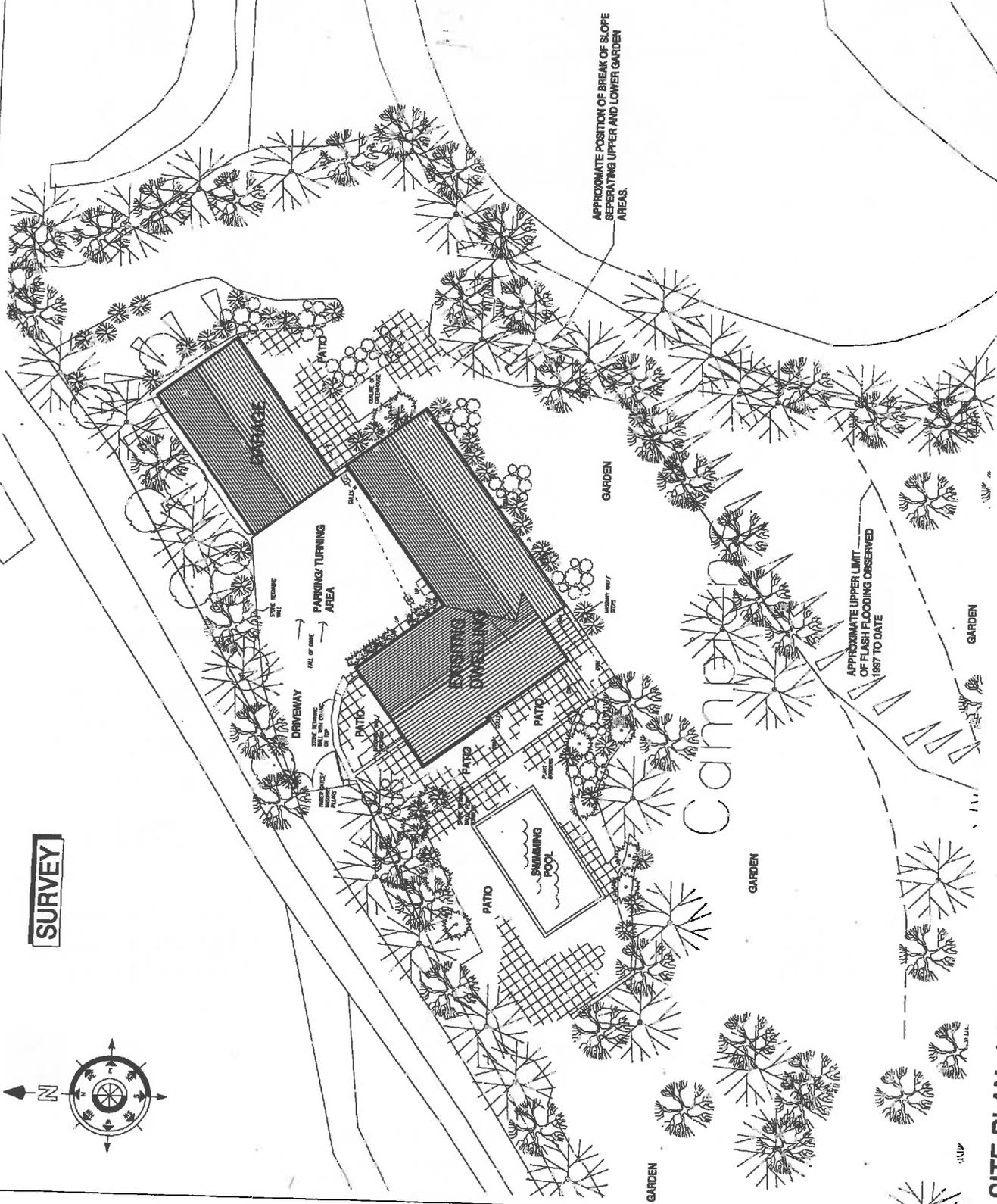
That full planning permission be granted.

**Conditions/Reasons/Informatives**

Standard time limits, compliance with plans and advisory notes recommended by statutory consultees.



**SURVEY**



APPROXIMATE POSITION OF BREAK OF SLOPE SEPARATING UPPER AND LOWER GARDEN AREAS.

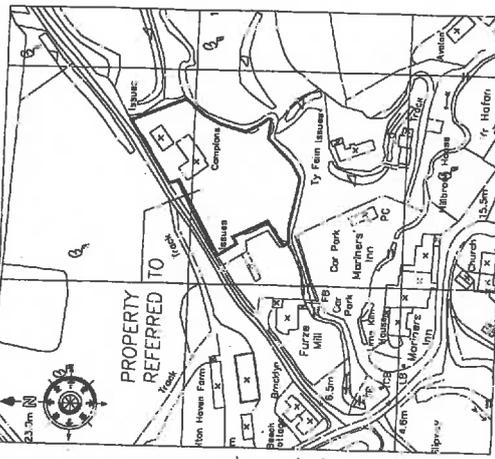
APPROXIMATE UPPER LIMIT OF FLASH FLOODING OBSERVED (1987 TO DATE)

**SITE PLAN 1:2500**

**LOCATION PLAN 1:2500**

12155

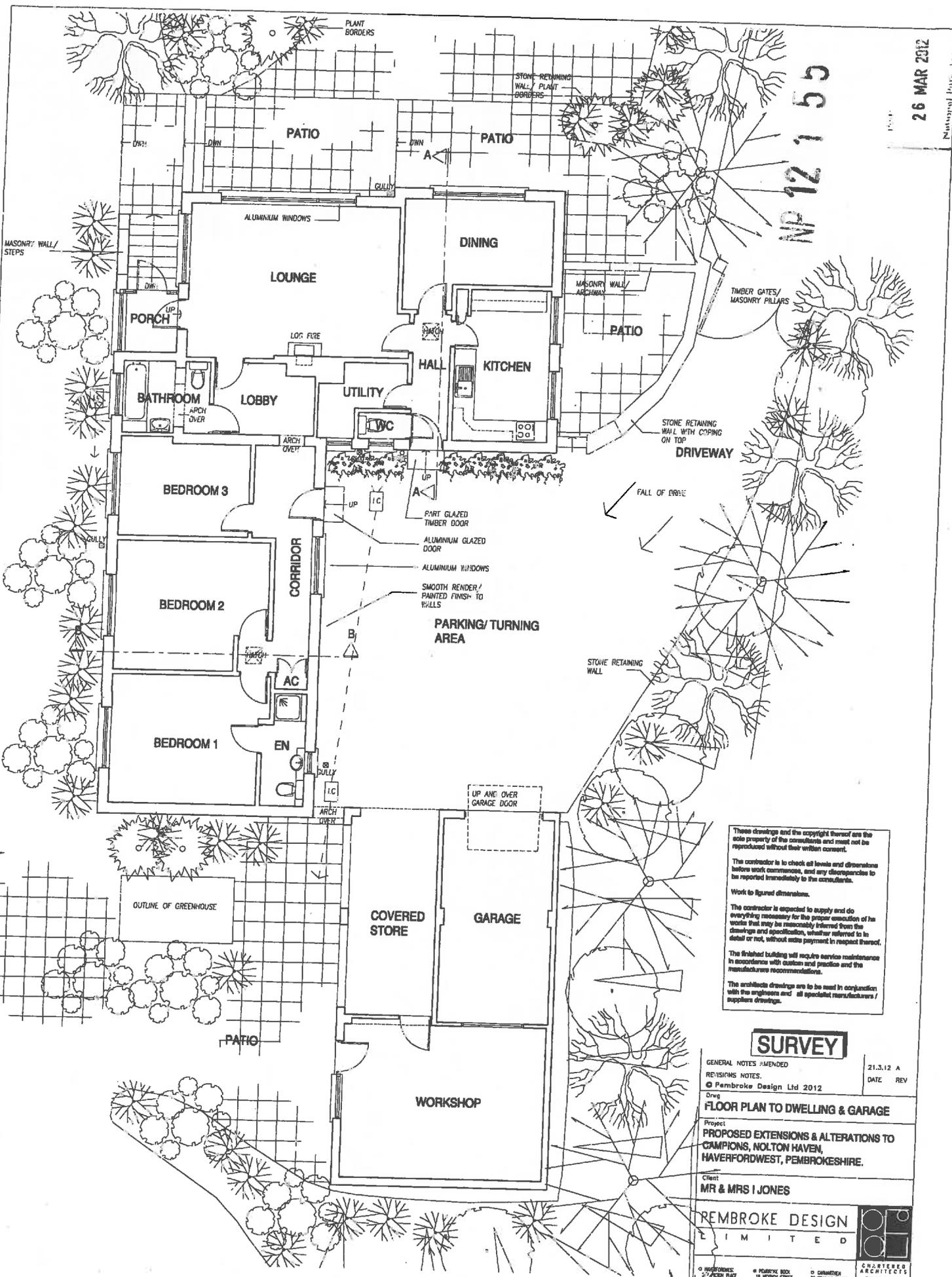
26 MAR 2012



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Work is signed off drawings.  
This contractor is required to supply and do everything necessary for the protection of the works that may be temporarily affected from the ground or rock, without extra payment. It is required that the site be kept clear of all obstructions.  
The finished building will require service connections to be made in accordance with the relevant regulations and standards.  
The architect drawings are to be used in conjunction with the contractor's specifications and the manufacturer's instructions.

GENERAL NOTES AMENDED	21.3.12	DATE	RE-
REVISIONS NOTES			
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Project	<b>BLOCK PLAN / LOCATION PLAN</b>		
Proposed	<b>PROPOSED EXTENSIONS &amp; ALTERATIONS TO CAMPIONS, KOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.</b>		
Client	<b>MR &amp; MRS I JONES</b>		
Design	<b>PEMBROKE DESIGN</b>		
Drawn	<b>L I M I T E D</b>		
Scale	1:100	Original Size	AS
Date	OCT 2011	Checked by	JD
Job No	8391	Drawn No	001 A

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Work to figured dimensions.

The contractor is expected to supply and do everything necessary for the proper execution of the works that may be reasonably inferred from the drawings and specification, whether referred to in detail or not, without extra payment in respect thereof.

The finished building will require service maintenance in accordance with custom and practice and the manufacturers recommendations.

The architects drawings are to be used in conjunction with the engineers and all specialist manufacturers / suppliers drawings.

**SURVEY**

GENERAL NOTES AMENDED  
 REVISIONS NOTES  
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21.5.12 A  
 DATE REV

Drawn  
**FLOOR PLAN TO DWELLING & GARAGE**

Project  
**PROPOSED EXTENSIONS & ALTERATIONS TO CAMPIONS, NOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.**

Client  
**MR & MRS JONES**

**PEMBROKE DESIGN LIMITED**

10 HAYWARDS PLACE, 10 HAYWARDS PLACE, 10 HAYWARDS PLACE  
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 18 NEWBY STREET, 18 NEWBY STREET, 18 NEWBY STREET  
 TEL: 01432 76471  
 26 SPURWAY STREET, 26 SPURWAY STREET, 26 SPURWAY STREET  
 TEL: 01432 76471

CHARTERED ARCHITECTS BUILDING SURVEYORS QUANTITY SURVEYORS  
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 CO-ORDINATORS

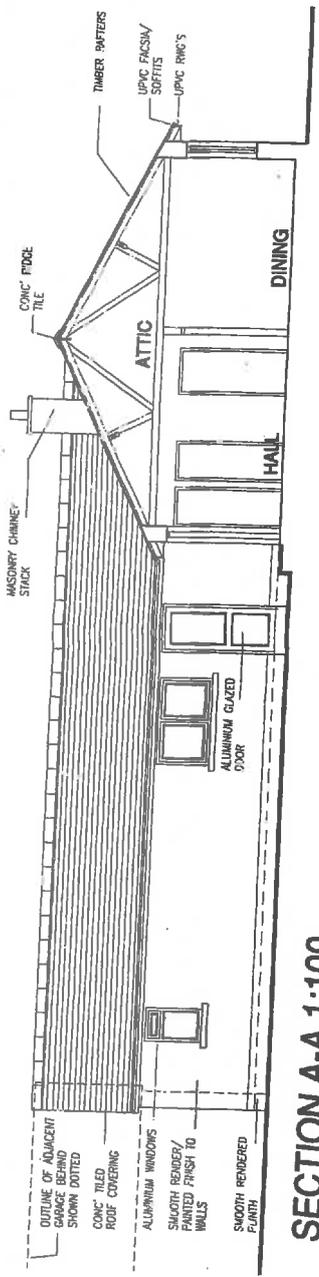
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**FLOOR PLAN 1:100**

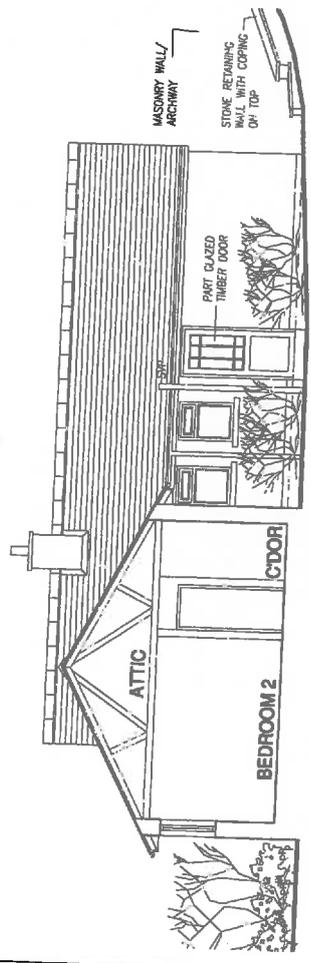
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26 MAR 2012

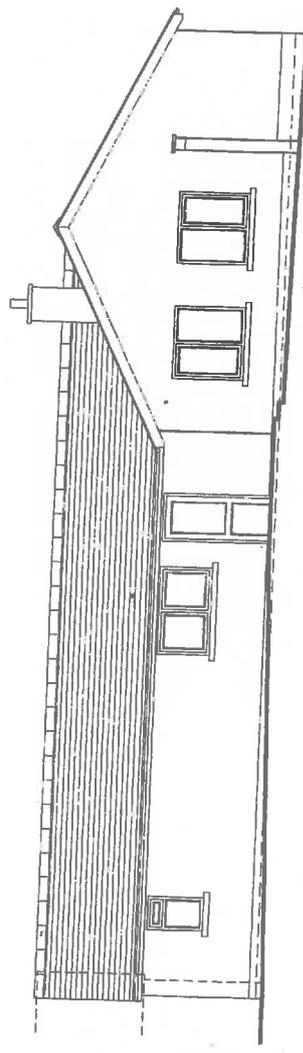
National Planning Authority



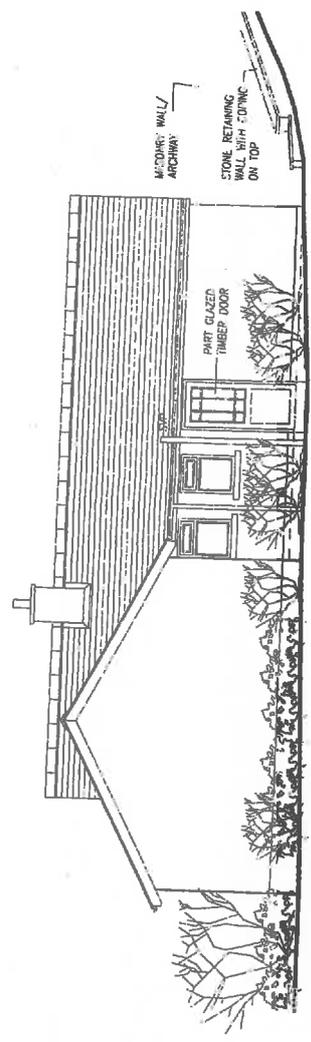
SECTION A-A 1:100



SECTION B-B 1:100



NORTH ELEVATION 1:100



EAST ELEVATION 1:100

**SURVEY**

GENERAL NOTES AMENDED	21.11.12 A	DATE	REV
REVISIONS NOTES:			
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Project	SECTION AA + BB / ELEVATIONS		
Proposed Extensions & Alterations to	CAMPIONS, MOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.		
Client:	MR & MRS JONES		
Architect:	PEMBROKE DESIGN LIMITED		
Scale	1:100	Scale 1:100	AS
Drawn	JD	Date	OCT 2011
Checked		Checked	
Drawn No	8391	Checked No	003 A
Drawn Rev		Checked Rev	

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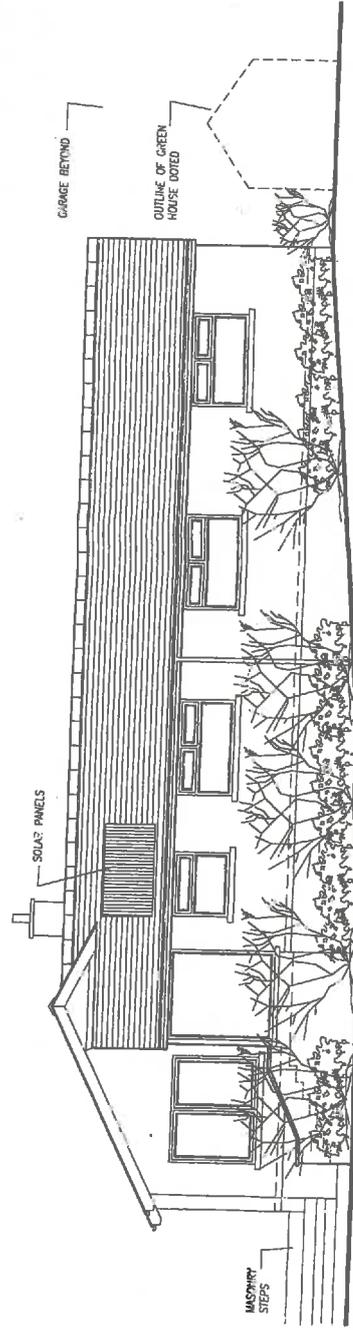
The contractor is to supply and do everything necessary to complete the work of the drawing and specification, whether referred to in the contract or not, without extra payment to the contractor.

The finished building will require services maintenance and insurance with certain roof grades and the manufacturer's recommendations.

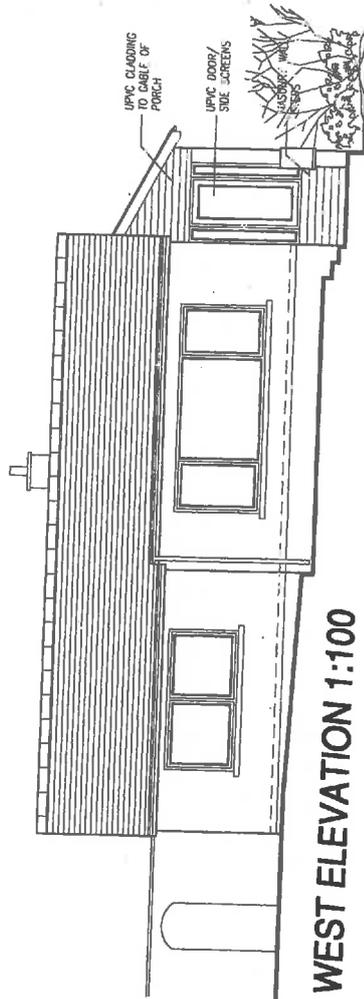
The architect drawings are to be used in conjunction with the contract and all specialist manufacturers / suppliers drawings.

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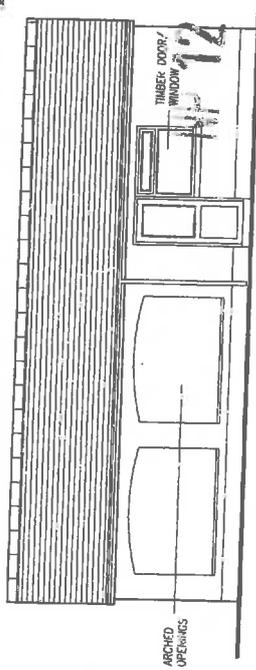
National Park Authority



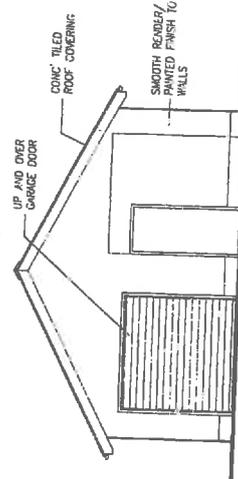
**SOUTH ELEVATION 1:100**



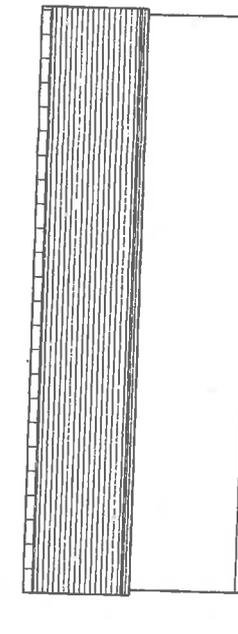
**WEST ELEVATION 1:100**



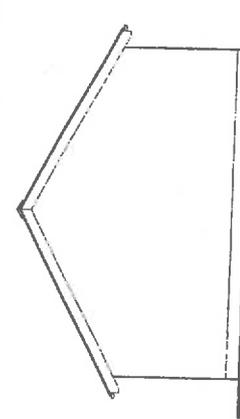
**GARAGE- SOUTH ELEVATION 1:100**



**GARAGE-WEST ELEVATION 1:100**



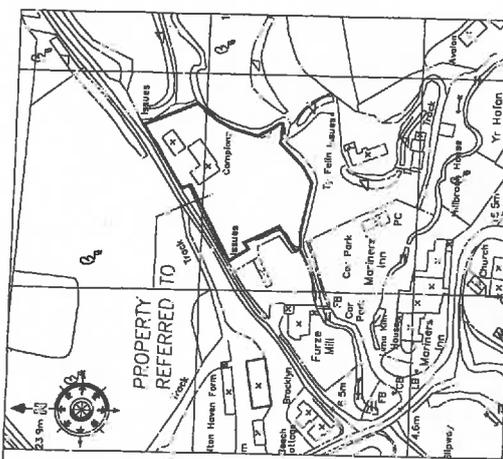
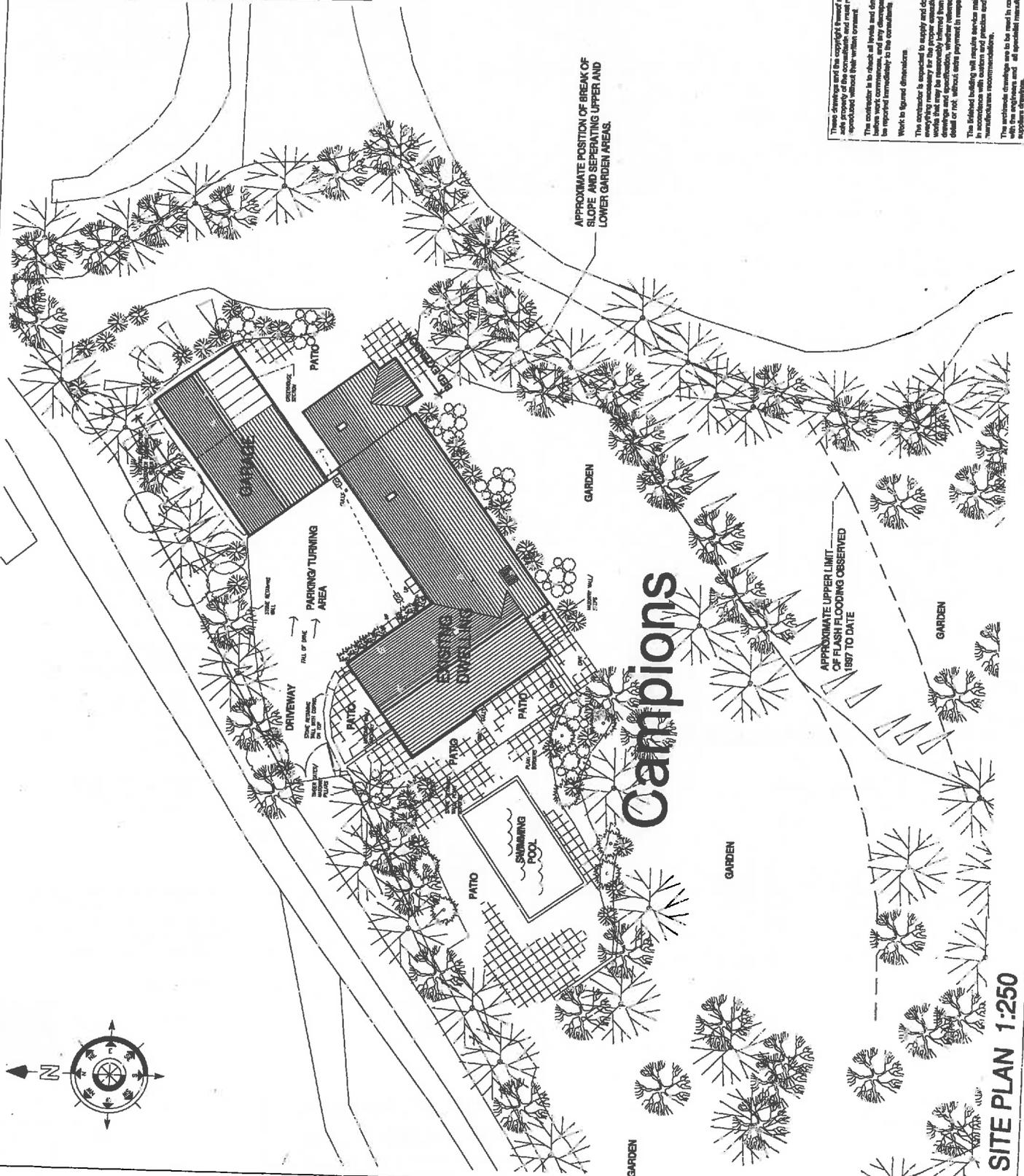
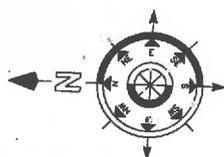
**GARAGE- NORTH ELEVATION 1:100**



**GARAGE-EAST ELEVATION 1:100**

**SURVEY**

GENERAL NOTES AMENDED	21.3.12 A
REVISIONS NOTES	DATE REV
Drawn	© Pembroke Design, Ltd 2012
Project	<b>DWELLING + GARAGE ELEVATIONS</b>
Proposed	<b>PROPOSED EXTENSIONS &amp; ALTERATIONS TO CAMPIONS, NOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.</b>
Client	<b>MR &amp; MRS JONES</b>
Designer	<b>PEMBROKE DESIGN</b>
Scale	1:100
Date	OCT 2011
Original Size	A3
Job No	8391
Drawn by	JD
Checked by	
Draw No	004 A
Rev	



**LOCATION PLAN 1:2500**

26 MAR 2012

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**PROPOSED**

GENERAL NOTES AMENDED	21.3.12	A	REV
REVISIONS	DATE		
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Drawn			
<b>BLOCK PLAN/LOCATION PLAN</b>			
Project			
<b>PROPOSED EXTENSIONS &amp; ALTERATIONS TO CAMPIONS, MOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE</b>			
Client			
<b>MR &amp; MRS JONES</b>			
<b>PEMBROKE DESIGN</b>			
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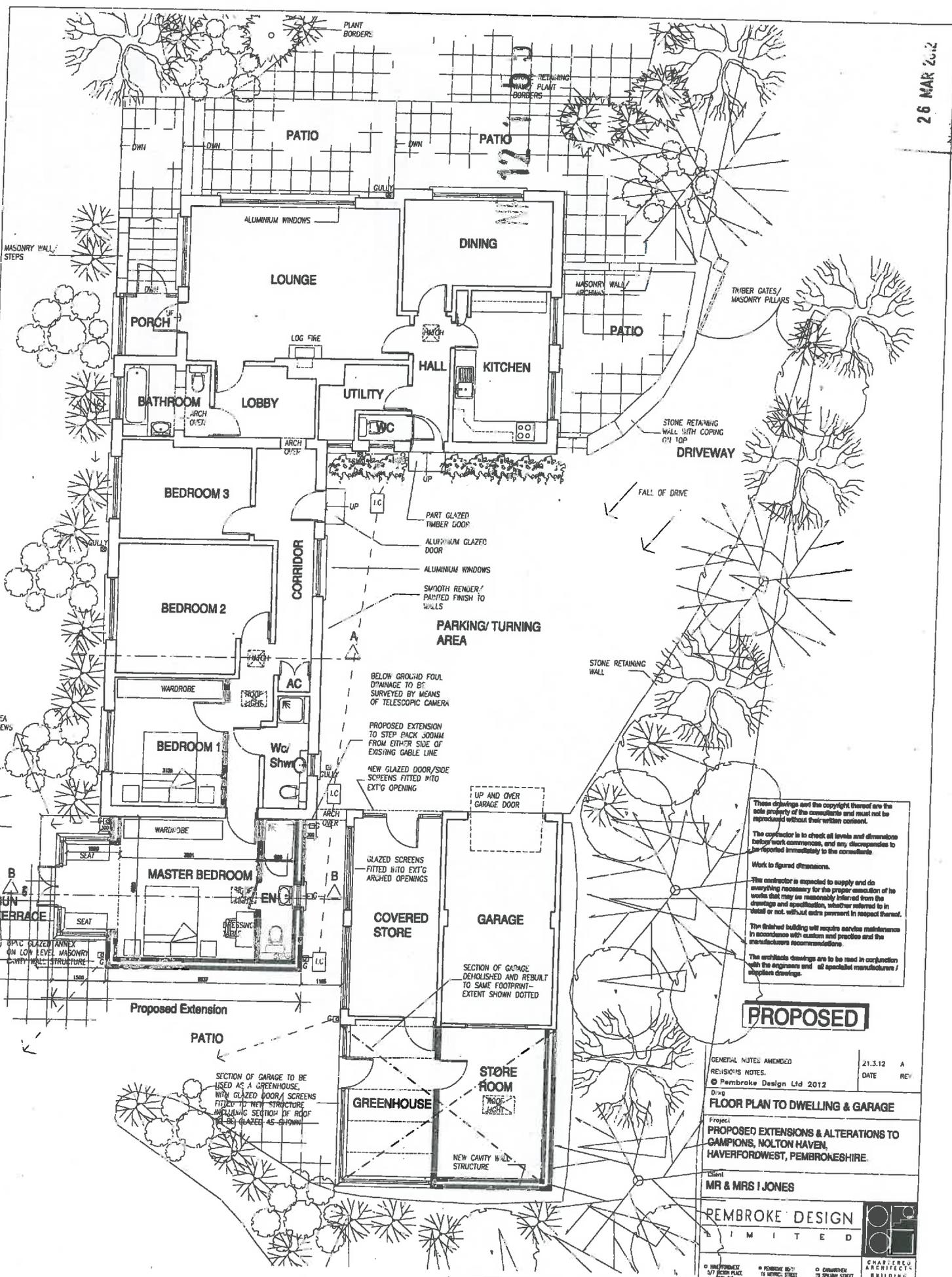
The contractor is to check all levels and dimensions before any work commences and to report any discrepancies to the architect immediately.

Work to figure dimensions.

The contractor is to provide all materials and labour necessary for the proper execution of the work and to ensure that the work is completed in accordance with the specifications and standards of the relevant authorities.

The architect's drawings are to be used in conjunction with the specifications and all applicable regulations and standards.

**SITE PLAN 1:2500**



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Work to figured dimensions.

The contractor is expected to supply and do everything necessary for the proper execution of the works that may be reasonably inferred from the drawings and specification, whether referred to in detail or not, without extra payment in respect thereof.

The finished building will require routine maintenance in accordance with custom and practice and the manufacturers recommendations.

The architects drawings are to be used in conjunction with the engineers and all specialist manufacturers / suppliers drawings.

**PROPOSED**

GENERAL NOTES AMENDED 21.3.12 A  
 REVISIONS NOTES. DATE REV  
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Drawn  
**FLOOR PLAN TO DWELLING & GARAGE**  
 Project:  
**PROPOSED EXTENSIONS & ALTERATIONS TO CAMPIONS, NOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.**

Client  
**MR & MRS I JONES**

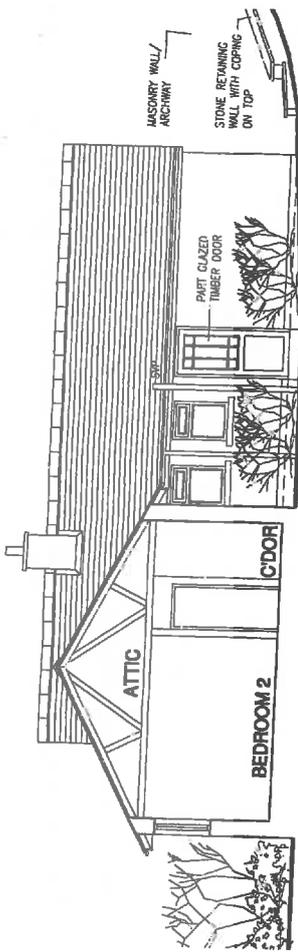
**REMBROKE DESIGN LIMITED**

REMBROKE DESIGN LIMITED  
 47 BURN PLACE, SAH 5E, TEL: 01432 764129, FAX: 01432 764131, E-MAIL: info@rembrokedesign.co.uk  
 19 SPURWAY STREET, SAH 1JL, TEL: 01432 764129, FAX: 01432 764131, E-MAIL: info@rembrokedesign.co.uk  
 CHARLENE ARCHITECTS BUILDING SURVEYORS QUARTERS SUDBURY CEN 0481814005

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**FLOOR PLAN 1:100**

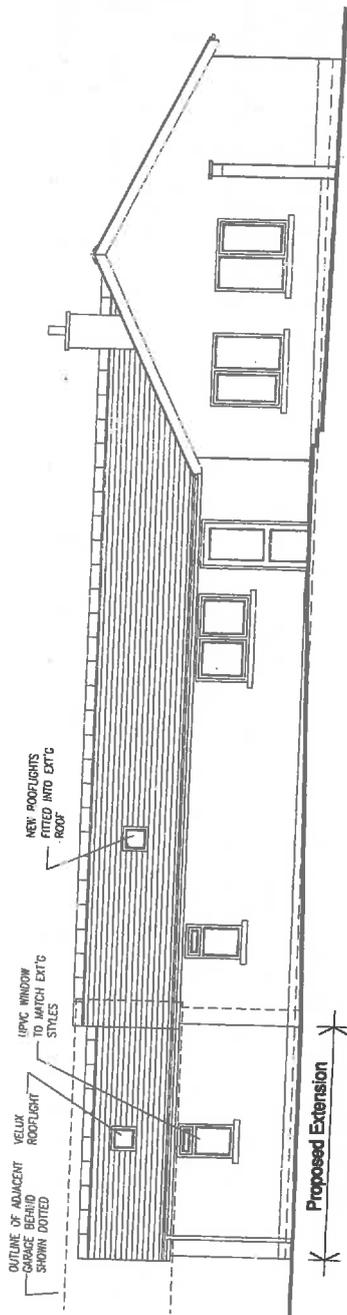
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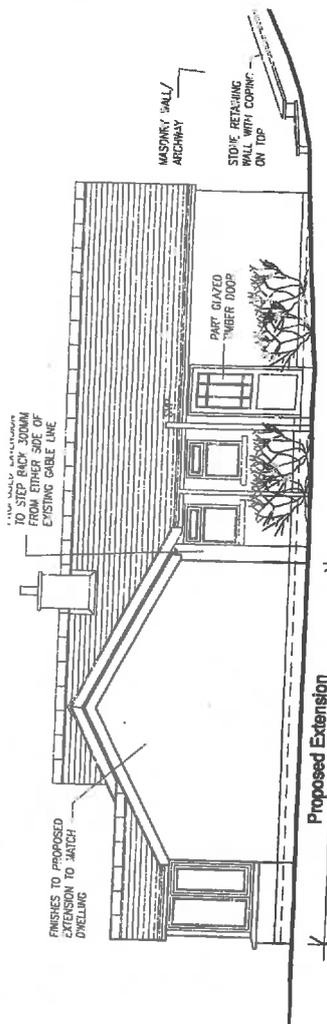
SECTION A-A 1:100



Proposed Extension  
SECTION B-B 1:100



Proposed Extension  
NORTH ELEVATION 1:100



Proposed Extension  
EAST ELEVATION 1:100

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Work to figured dimensions.  
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This proposed building will require services (mechanical, electrical, plumbing, gas, etc.) and the contractor is to ensure that all such services are installed in accordance with the manufacturer's recommendations.  
The contractor is to be responsible for the completion of all work shown on the drawings and to be responsible for the supply of materials and labour.  
The contractor is to be responsible for the supply of materials and labour.

**PROPOSED**

GENERAL NOTES - INDEXED	21.11.12	A	REV
REVISIONS NOTES	DATE		
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<b>SECTION AA + BB / ELEVATIONS</b>			
Project <b>PROPOSED EXTENSIONS &amp; ALTERATIONS TO CAMPIONS, MOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.</b>			
Client <b>MR &amp; MRS J. JONES</b>			
<b>PEMBROKE DESIGN</b>			
L I M I T E D			
Drawn MCW	Scale 1:100	Original Size A3	Job No 8391
Drawn JD	Date NOV 2011	Checked by JD	Draw No Rev 007 A.

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Natural Resources Wales

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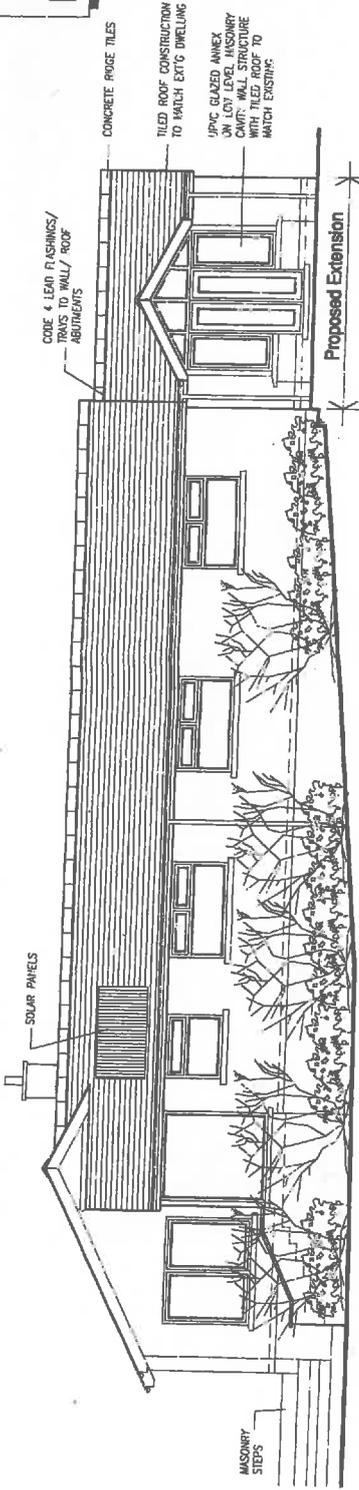
Work to be carried out as shown.

The architect is responsible to supply and design any fittings, materials, etc. that may be necessary for the works that may be necessary to be carried out in connection with the works, whether referred to in the drawings or not, without being placed in respect thereof any responsibility on the consultants.

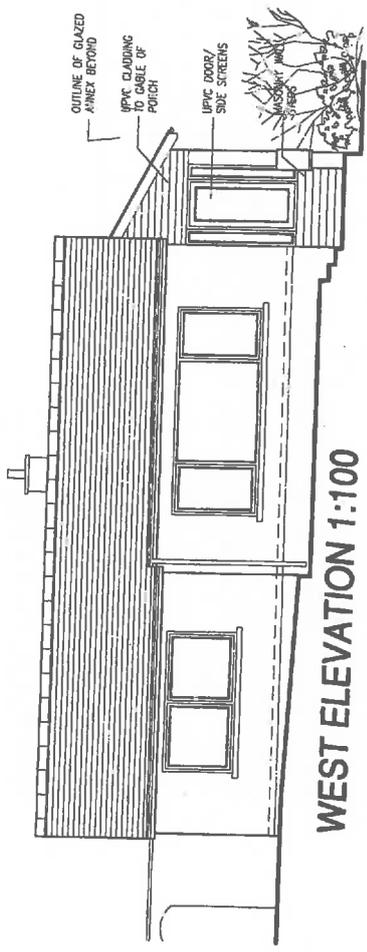
The finished building will require services maintenance and repairs to be carried out in accordance with the manufacturers recommendations.

The technical drawings are to be read in conjunction with the specifications and all specialist manufacturers' suppliers drawings.

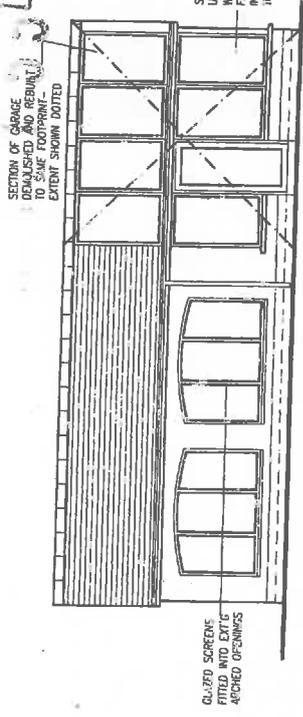
26 MAR 2012



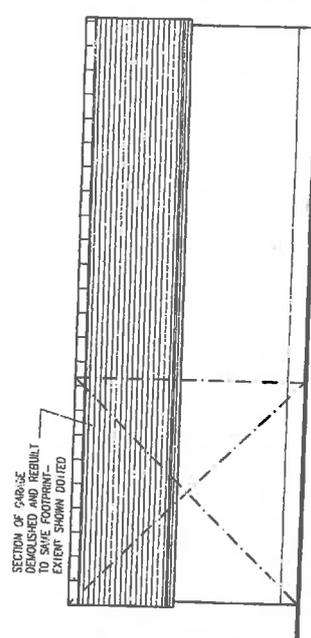
**SOUTH ELEVATION 1:100**



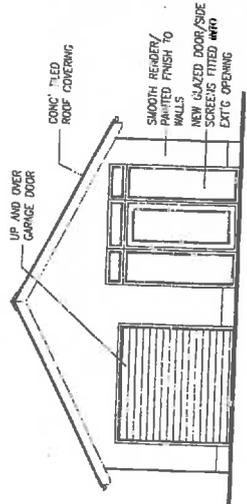
**WEST ELEVATION 1:100**



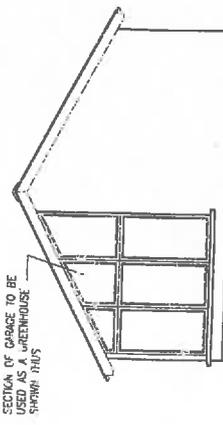
**GARAGE- SOUTH ELEVATION 1:100**



**NORTH ELEVATION 1:100**



**WEST ELEVATION 1:100**



**EAST ELEVATION 1:100**

## PROPOSED

GENERAL NOTES - AMENDED	2.13.12	A
REVISIONS NOTES	DATE	REV
Drawn by	Pembroke Design Ltd 2012	
<b>DWELLING + GARAGE ELEVATIONS</b>		
Project <b>PROPOSED EXTENSIONS &amp; ALTERATIONS TO CAMPIONS, NOLTON HAVEN, HAVERFORDWEST, PEMBROKESHIRE.</b>		
Client <b>MRI &amp; MRS I JONES</b>		
<b>PEMBROKE DESIGN</b>		
L I M I T E D		
<small>                 10 PEMBROKE PLACE                  10 PEMBROKE STREET                  HAVERFORDWEST, SA61 1AA                  TEL: 01323 824747                  FAX: 01323 824748                  WWW.PEMBROKEDESIGN.CO.UK             </small>		
Designer	Scale	Drawn by
MCW	1:100	A3
Drawn	Date	Checked by
JD	NOV 2011	
Job No	8391	Drawn by
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