

## Item 5 - Report on Planning Applications

**Application Ref: NP/15/0085/FUL**

<b>Case Officer</b>	Caroline Bowen		
<b>Applicant Agent</b>	Mr P Prosser		
<b>Proposal</b>	Change of use of fort & island to visitor attraction uses including C1, D1 and D2 with gift, food & drink & retail uses A1 and A3. Change of use of generator house to ticket and retail use A1 & A3. Restore/replace railings, install 2 cranes, 2 boat landings, construct security residence use C3, construct toilet & pumping facilities, install cliff nature walk, signage, path lighting, operations lighting, replace fort entrance bridge, install services, repair stairs & install new, install CCTV.		
<b>Site Location</b>	St Catherines Island, Castle Beach, Tenby, Pembrokeshire, SA70 7BP		
<b>Grid Ref</b>	SN13870035		
<b>Date Valid</b>	07-Feb-2015	<b>Target Date</b>	03-Apr-2015

**Summary**

At the meeting of the Development Management Committee last month, officers reported that due to the lack of a complete response from Natural Resources Wales, the application should be deferred. Since that meeting the applicant and officers have met with NRW, who have advised that, subject to the Test of Likely Significant Effect under the Habitats Regulations being undertaken by the Authority, and by the use of conditions to address - (1) a watching brief and (2) a method statement for works within the SSSI boundary, NRW's outstanding concerns would be addressed. Officers can confirm that the required Habitats Regulations Assessment has been carried out and completed and therefore the planning application now contains sufficient information on which a decision can be made.

This planning application has been brought before the Development Management Committee because it is a major application, as defined under the terms of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.

The application is a resubmission of a proposal for works comprising the restoration and conversion of the fort, the provision of new buildings to provide supporting facilities/services, and the improvement of access to and on St Catherine's Island to create a family visitor attraction.

Planning permission was originally sought in 2013 for a number of works to allow St Catherine's Island, Tenby, to become a tourist attraction. Following the consultation on the application, and the consideration of all material considerations and the relevant national and local development plan policies, the application was recommended for refusal on the grounds that the application had been submitted with ambiguous, insufficient, and contradictory information, meaning that the impact of the proposal on the special qualities of

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the National Park, the Tenby Conservation Area, the Scheduled Ancient Monument, the listed buildings and the settings of nearby listed buildings, and on national and internationally important habitats and protected species could not be ascertained; that the scheme proposed an unacceptable level of lighting that was harmful to the special qualities of the National Park; that the proposed new dwelling in the open countryside had not been robustly justified in terms of it being essential for the use of the site, and that the proposed solar panels, roof-top shops and new dwelling would be harmful to the special qualities of the National Park.

A subsequent appeal made to the Planning Inspectorate was dismissed on the sole ground that the Inspector, whilst satisfied that there was sufficient evidence to indicate that there is on-going use of the fort by bats, felt it was insufficient, on a precautionary basis, to establish the extent of or to assess the impact of the project on that use. He concluded that 'Despite there appearing to be little doubt that the potential impact could be mitigated, it would not be appropriate to leave this matter to be dealt with by planning conditions. For that reason, planning permission should not yet be granted.'

Otherwise, the Inspector considered, in his conclusion set out in paragraphs 110 to 116 of the appeal decision, that the proposed use was acceptable, that the uncertainty arising from potentially incompatible uses could be resolved by the use of planning condition(s), that the proposed external lighting could be further considered by use of a planning condition, and that he was satisfied that the proposed cabin would be for use by staff and visitors, and it would provide necessary security for the project.

The re-submission is, therefore, as originally presented, with the addition of a new protected species survey. There has been no other change in the information submitted in this application therefore the appeal decision is a significant material consideration.

In light of the Inspector's findings and conclusion, the proposal, subject to a detailed scheme of conditions to control the use and details, is now recommended for approval in accordance with the aims and requirements of policies 1, 2, 8, 9, 10, 11, 14, 15, 29, 30, 32, 33, 34, 35, 52 and 53 of the Pembrokeshire Coast National Park Local Development Plan (Adopted September 2010).

### **Consultee Response**

**The Victorian Society:** Objecting

**Tenby Civic Society:** Concern

**PCC - Transportation & Environment:** No objection

**Natural Resources Wales:** Have advised that, subject to the Test of Likely Significant Effect being undertaken by the Authority, and by the use of conditions to address, (1) A watching brief and (2) A method statement for

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works within the SSSI boundary, this would address the outstanding concerns. NRW have also confirmed that there is no objection to the revised Bat Survey as it was satisfied with the survey work that had been undertaken.

**Dyfed Archaeological Trust:** Conditional Consent - Grampian Style condition recommended as per response to previous application NP/13/0071.

**Dwr Cymru Welsh Water:** Conditional Consent

**Tenby Town Council:** Recommend Refusal

### **Public Response**

The application has been advertised appropriately advertised as a Major Development in the Local Press (Pembrokeshire Herald) and through a site notice in accordance with the statutory requirements. Furthermore letters were sent to neighbouring occupiers. At the time of writing this report, 11 letters have been received, including a petition from the Lexden Terrace Conservation Group; Tenby Civic Society have written to advise of three concerns, which they consider are resolvable by planning condition, so that the scheme is not further delayed; and a petition of support comprising 838 signatures and 315 comments has been submitted. In summary, the following points are made:-

- Unlike the busier character of the town, the area around the harbour and Castle Hill is quiet and restrained. Views focus on the Island and it is important that the character of the island is maintained in those views.
- The proposed D2, A1 and A3 uses should not be unrestricted and should be ancillary to the principal use.
- The plans are totally out of keeping with such an important landmark on the Pembrokeshire Coast National Park.
- Concern that the change in character of the Island to a tourist attraction will be harmful.
- The Island has become an important wildlife habitat and the proposal is bound to be harmful to the SSSI and SAC.
- Loss of amenity of residents overlooking the Island
- Nuisance of the vehicular movements to and from the island both during the building work and afterwards for maintenance work and delivery of supplies.
- The lighting proposed would be a gross intrusion into the night sky for residents and holidaymakers.
- Not opposed to the principle of opening St Catherine's Island and the Fort to visitors and welcomes the low key and unobtrusive way in which it has been managed over the last year, but concern about enabling the site to be made accessible in a way which takes account of the setting of this important site and the cluster of listed buildings and heritage assets of which it is part; retains the views which are a key part both of Tenby's heritage and its attractiveness to visitors and shows regard for the amenity of residents.

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- Concern at the omission of the bridge – any permission granted should exclude any implied permission in principle for the bridge, which should be subject of an application in its own rights and considered on its own merits.
- That the operating time should be no later than 23.00.
- There should be a condition prohibiting the generation or distribution of music or other amplified sound on the Island, other than in the Fort itself.
- Blanket provision for overnight stays (in relation to the C1 Hotel use) should not be allowed.
- The proposals are too much. Having visited the fort, it is a good space and very interesting, but to have an extended opening and all the extras would spoil the magic of the place.
- The energetic, imaginative and organized lease-holders have already spent a large amount of money on their project and further major expenditure is planned...I wish them luck with their visitor numbers so long as these do not have a negative impact on the special conservation area that is Castle Hill, Castle Beach, St Julian's Terrace and St Julian's Street.
- On consideration of the proposed development for this fort, it can only be surmised that this outstanding habitat for wildlife is likely to be detrimentally altered. The application appears extremely complex; encompassing numerous possible options, many of which will involve great disturbances to the immediate environment.
- Seaside resorts such as Tenby must develop and adapt to meet the changing needs of tourism. However, surely such developments should attempt to enhance the natural attractions and ambience of this beautiful, historic town.

If the Island and fort were to open late in the evening, this would obviously have a knock-on effect on traffic movement in the harbour area, already notorious for problems of access and restricted parking. As regular holidaymakers we had the good fortune to go on to the Island in September and the experience was magical. We know Tenby well, and development of the Island as proposed will only add to the intrinsic charm and interest of the National Park and the town too. The Island has had various uses in the past and it is only right and proper that it should be brought into use again

### **Policies considered**

Please note that these policies can be viewed on the Policies page  
 Pembrokeshire Coast National Park website -  
<http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

Circular 60/96 - Planning and the Historic Environment: Archaeology

Circular 61/96 - Conservation Areas

LDP Policy 01 - National Park Purposes and Duty

LDP Policy 02 - Tenby Local Service and Tourism Centre

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LDP Policy 07 - Countryside  
LDP Policy 08 - Special Qualities  
LDP Policy 09 - Light Pollution  
LDP Policy 10 - Local Sites of Nature Conservation or Geological Interest  
LDP Policy 11 - Protection of Biodiversity  
LDP Policy 14 - Protection of Buildings of Local Importance  
LDP Policy 15 - Conservation of the Pembrokeshire Coast National Park  
LDP Policy 17 - Shore Based Facilities  
LDP Policy 18 - Porthgain, Saundersfoot and Tenby Harbours  
LDP Policy 29 - Sustainable Design  
LDP Policy 30 - Amenity  
LDP Policy 31 - Minimising Waste  
LDP Policy 32 - Surface Water Drainage  
LDP Policy 33 - Renewable Energy  
LDP Policy 34 - Flooding and Coastal Inundation  
LDP Policy 35 - Visitor Economy  
LDP Policy 44 - Housing  
LDP Policy 45 – Affordable housing  
LDP Policy 48 - Community Facilities and Infrastructure Requirements  
LDP Policy 49 - Retail in the National Park  
LDP Policy 50 - Town and District Shopping Centres  
LDP Policy 52 - Sustainable Transport  
LDP Policy 53 - Impacts on traffic  
PPW7 Chapter 04 - Planning for Sustainability  
PPW7 Chapter 05 - Conserving and Improving Natural Heritage and the Coast  
PPW7 Chapter 06 - Conserving the Historic Environment  
PPW7 Chapter 07 - Economic Development  
PPW7 Chapter 08 - Transport  
PPW7 Chapter 09 - Housing  
PPW7 Chapter 10 - Planning for Retailing and Town Centres  
PPW7 Chapter 11 - Tourism, Sport and Recreation  
PPW7 Chapter 12 - Infrastructure and Services  
PPW7 Chapter 13 - Minimising and Managing Environmental Risks and Pollution  
SPG05 - Sustainable Design  
SPG06 - Landscape  
SPG08 - Affordable Housing  
SPG12 - Parking

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SPG13 - Archaeology  
SPG14 - Renewable Energy plus Addendum on Field Arrays  
SPG17 - Conservation Area Proposals  
TAN 02 - Planning and Affordable Housing  
TAN 04 - Retailing and Town Centres  
TAN 05 - Nature Conservation and Planning  
TAN 06 - Planning for Sustainable Rural Communities  
TAN 11 - Noise  
TAN 12 - Design  
TAN 13 - Tourism  
TAN 14 - Coastal Planning  
TAN 15 - Development and Flood Risk  
TAN 16 - Sport, Recreation and Open Space  
TAN 18 - Transport  
TAN 22 - Planning for Sustainable Buildings

### **Constraints**

Special Area of Conservation - within 500m  
Site of Special Scientific Interest - within 50m  
LDP Mineral Safeguard  
Biodiversity Issue  
Ancient Monument - within 50m  
Recreation Character Areas

### **Officer's Appraisal**

#### **Background and Site Description**

The Listings Schedule for St Catherine's Fort describes the building as being situated on a prominent position on St Catherine's Island to the east of the town and south east of Castle Hill. It was a marine fort of 1868-1870, built for the defence of Milford Haven as one of the series of Palmerston Forts built to secure the naval harbours from seaborne attack. The fort is mainly constructed of rock-faced limestone with limestone dressings and some granite detail. Entrance is across a dry moat and bridge to an arched entrance. The fort has a basement, ground and first floor, and is flat roofed behind a low parapet. It was decommissioned as a fort in the early 20th Century, becoming a private dwelling; then brought back to military use in the Second World War. The last use was between 1968 and 1978 as a zoo.

There is a further building to the west of the Island, which housed the generators, and is also a listed structure. It is a stone-built single story building, with concrete flat roof, and blocked in windows. A series of pathways links the two buildings and the beach entrance (to the southern end

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of the Island), and the boat landing platforms (to the northern side of the Island).

### **Constraints**

The fort is a Scheduled Ancient Monument (SAM) and a Grade II\* Listed Building. The generator house is also a Grade II\* listed building. The Island falls outside of the Centre boundary defined for Tenby in the Pembrokeshire Coast National Park Local Development Plan, but does fall within the boundary of the Tenby Conservation Area. The Island is surrounded by the Carmarthen Bay and Estuary Special Area of Conservation (SAC), along with the Tenby Cliffs and St Catherine's Island Site of Special Scientific Interest (SSSI). The coast line is identified as being susceptible to flooding, as denoted in the Technical Advice Note 15 – Flooding.

### **Relevant Planning History**

Planning permission for the works to allow St Catherine's Island to allow it to be used as a visitor attraction was refused on the 17th July 2013. A subsequent planning appeal was dismissed by the Planning Inspectorate on the 4th August 2014.

Listed building consent for alterations to the generator building was approved on the 15th May 2013 (reference NP13/0031).

### **Current Proposal**

The current application seeks full planning permission for works comprising the restoration and conversion of the fort, the provision of new buildings to provide supporting services, and the improvement of access on St Catherine's Island to create a family visitor attraction. The development as proposed on the submitted drawings is as follows:

- The change of use of the vacant fort to primarily an exhibition space, with supporting uses encompassing storage space, retail space, food and drink and public toilets. A new toilet building would be constructed in the defensive ditch in front of the fort, whilst on the roof, two new buildings would be constructed to provide food and drink outlets, with storage. The toilets would be constructed of timber boarding walls under galvanized corrugated steel roofs, and would measure approximately 25.6m x 3.1m x 4.3m. The roof buildings would also be timber clad under simulated lead roofs. They would measure approximately 10m x 4m x 2.5m at their maximum extents.
- Access to the western tip of the Island at a gated entrance from the beach, with a pathway leading to the generator building. This would be converted into the Island's welcome area, which would provide space to sell tickets, together with a small refreshments kiosk.
- To the north of the generator building would be a new build timber cabin, to provide accommodation for security staff, plus a first aid / office / CCTV room. The proposed structure would be a constructed of

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timber walls under a sloped simulated lead roof, and will have a small balcony/deck looking at to sea at its eastern end. The structure and balcony would measure approximately 4.8m x 15.2m x 4.2m at its maximum extent.

- The existing pathways are to be retained and defined with safety railings and low level illumination. Further external lighting is proposed through freestanding lamp posts and post lights and feature lighting.
- A high level nature walk, and cameras for nature watching.
- A series of ancillary works comprising the installation of services (gas, electric, water and waste water drainage); two boat landing platforms, a mooring buoy and associated hardstanding, to be created on the northern side of the Island, a HIAB crane and a boat offloading crane; repair and installation of stairs; a replacement fort entrance bridge; solar panels, signage; telescopes; a flag pole and CCTV.

For clarification, whilst the Design and Access Statement refers to a bridge to the mainland for access purposes, it is clear that the intention is that this element would require a separate planning application from the internal and island works, and the bridge is not referred to in the submitted description of development. As such it does not form part of the planning application.

### **Key Issues**

The application raises the following planning matters;

- Principle of the development
- Design and layout
- Special Qualities of the National Park.
- Listed Buildings on and near the site and the Conservation Area setting
- Sustainable Design
- Archaeology
- Protected Species and Biodiversity
- Highway Safety
- Amenity and Privacy
- Consultation responses.
- Other Material Considerations

### *Principle of the development*

St Catherine's Island lies to the east of Tenby, and, as the Island is not included within the Centre boundary for Tenby, is designated as open countryside in terms of the policies in the Pembrokeshire Coast National Park Local Development Plan. The site falls within the Tenby Conservation Area. Policy 7 of the Local Development Plan only permits tourist or recreational activities in the open countryside where the need to locate there is essential, and that existing buildings are converted to provide the required facilities. In the appeal decision, the Inspector found that

“The LDP identifies Tenby as a centre where visitor, recreational and leisure attractions are to be permitted. The Plan records that it has suffered some



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decline in tourism and tourist attractions. St Catherine's Island, however, lies outside the built-up area of Tenby and so is in the countryside for this purpose. While the full extent of the proposed use needs to be explored, the NPA accepts that, as a visitor attraction, it falls within the limited range of developments which may be acceptable in accordance with Policies 7 and 35(d). Even so, it would normally still need to be demonstrated that the proposal requires a countryside location. In this case, however, because of the Island's inherent links with Tenby, the NPA accepts the principle of its use as a visitor attraction without the need for further evidence.

I have no cause not to accept that pragmatic approach, one which may apply in other respects. Even had that not been the case, however, it seems to me that the proposal – dependent as it is on St Catherine's Island and a fort – can only take place where it is. Its location is therefore dictated and consequentially essential. Moreover, it also involves the re-use of existing buildings and it is difficult to conclude other than that, in these terms at least, the proposal complies with Policies 7 and 35(d)" (Paragraphs 29 and 30)

### *Design and layout*

The application proposes the change of use and extension of the fort to provide for a number of uses. These are shown on the proposed floorplans for the fort as follows:-

#### Basement -

- exhibition space (approximately 40 metre square internal dimensions);
- storage space (approximately 15 metre square internal dimensions);
- new toilets in moat (approximately 26 metre square internal dimensions);

#### Ground floor -

- storage space (approximately 42 metre square internal dimensions);
- exhibition space (approximately 195 metre square internal dimensions);
- food and drink provision (approximately 76 metre square internal dimensions);
- retail unit (approximately 38 metre square internal dimensions);
- public toilet (approximately 9 metre square internal dimensions);

#### First floor -

- exhibition space (approximately 83 metre square internal dimensions);
- storage space (approximately 9 metre square internal dimensions);

#### Roof -

- food and drink (approximately 40 metre square internal dimensions);
- storage space (approximately 14 metre square internal dimensions).

In addition to the proposed uses shown on the floorplans of the fort, the accompanying documents supporting the application propose additional ones,

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including the use of it for weddings and entertainment uses, education and display uses, and as a hotel.

The overall external appearance of the Fort would be unchanged by the proposal. In respect of the proposed uses and the addition of the new build elements of the proposal, the Inspector commented that;

‘...while inevitably individual activities referred to in the application and its supporting documents have attracted attention, it is important to retain in mind that together they would comprise a single composite, or mixed, use as a visitor attraction. (paragraph 34).

‘...Where there is doubt over the use, suitable controls could be introduced by, for instance, limiting the activities and layout to those proposed in the application. (paragraph 71)

It is, therefore, clear from the appeal decision that the Inspector considered that any ambiguity in respect of the proposed uses can be adequately addressed by planning condition to ensure that the primary use as a visitor attraction is maintained.

### *Impact of the proposal on the Special Qualities of the National Park*

Policies 8 and 15 of the Local Development Plan seek to protect and enhance the special qualities of the National Park. The policy priorities are to ensure that the sense of remoteness and tranquillity is not lost, and wherever possible enhanced; that the identity and character of towns and villages is protected from poor design and layout, that the pattern and diversity of the landscape is protected and enhanced, that protected species and habitats are protected, and that the historic environment is protected and where possible enhanced. In addition, Policy 15 seeks to prevent development that causes significant visual intrusion, is insensitively and unsympathetically located within the landscape, introduces / intensifies a use that is inappropriate to its location, that fails to harmonise with the landscape character of the National Park, and that loses or fails to incorporate important traditional features.

The application site falls within Landscape Character Area 2 – Tenby, as defined in the Authority’s supplementary planning guidance on Landscape Character Assessment. The management guidance advises to preserve the traditional coastal town character, through planning of development to ensure they are in keeping with the character of the traditional built form, whilst balancing the need for sustainable economic development serving the needs of visitors and residents alike.

It is considered that the proposed use would accord with this principle, and the Inspector considered that:

“Although questions of impact on amenity and character and appearance have been raised and considered; on this issue I do not consider that the proposed use would have adverse consequences for the landscape as such.”

Impact of the proposal on the Listed Buildings on and near the site; and on the setting in the Tenby Conservation Area:

Cadw have been consulted on the new submission and indicated that they required additional time to comment. This is in order to discuss the issue of the proposed solar panels, as it was raised at appeal that it was unclear whether this element had been granted Scheduled Ancient Monument Consent (SMC) previously. At the time of writing this report, no further response has been received.

The Victorian Society have responded to their consultation, and reiterates its original objection, advising that whilst it considers the principle of a change of use may well be acceptable, it finds the application unconvincing in several key respects and the proposed alterations and additions both unjustified and damaging, particularly in relation to the loss of a possibly original footbridge and the siting of the toilets in the dry moat. On appeal, however, the Inspector found that the works and their impact on the fort were acceptable.

#### *Listed Buildings on and near the site and the Conservation Area setting*

Listed Building Consent was previously granted under NP/13/0031.

In terms of the Island's setting in the Conservation Area, the Inspector found that:

“The proposal would provide the improved public access and interpretation referred to in the NPA's Conservation Area Proposal, as well as promote the public understanding and enjoyment of the fort as encouraged by the National Park's designated purpose. Its use as a visitor attraction... ..is a practical and sensitive response to the buildings history and place; it could be appropriately low key and not over-intrusive. It offers an acceptable balance of possibly competing interests, if suitably controlled. In that way I consider that the use would enhance both the character and appearance of the conservation area without detracting from the setting of either the fort itself or the listed buildings and ancient monuments in the vicinity”. (paragraph 48)

#### *Sustainable Design*

The eastern part of the fort roof is proposed for coverage by an array of solar panels, which are intended to contribute to the energy requirements of operation the fort as a visitor attraction. The 263 solar panels would cover the outside curved parapets at the far south eastern corner, and would be angled at the same shallow slope. The sustainable provision of energy is supported, in principle, under Policy 33 of the Local Development Plan (LDP), subject to there being no over-riding environmental and amenity considerations. The Inspector considered the original view by officers that they would appear as an anomaly, but found that in planning terms;

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'..the panels are an unfortunate but justifiable addition to the listed building' (paragraph 101)

*Archaeology*

Dyfed Archaeological Trust has been consulted to ascertain their views on the resubmitted proposal. The Island has a long history of occupation and the Trust have advised that their earlier response still stands - that the impact of the proposal on the Island's archaeology can be dealt with by a "Grampian" condition, which is a condition requiring archaeological investigation to be carried out before any works are commenced on site.

*Protected Species and Biodiversity*

The Island is within both a Special Area of Conservation (SAC), and a Site of Special Scientific Interest (SSSI), and used by protected species, particularly bats. Policy 8 of the Local Development Plan seeks to protect the special qualities of the National Park, including amongst other things, the restoration and enhancement of the National Park's ecosystems. Policy 9 seeks to minimise light pollution. Policy 11 states that development that would disturb or otherwise harm protected species or their habitats will only be permitted where the effects can be acceptably minimised or mitigated.

Natural Resources Wales have been consulted on the resubmission, which included a new protected species report. As stated at the beginning of this report, officers of the Authority and the applicant met with NRW. There is no objection to the revised survey and the required Habitats Regulations Assessment has been completed.

*Highway Safety*

Policies 52 and 53 of the Local Development Plan specifically refer to the traffic impacts of proposed development. The Highways Development Control Officer was consulted on this application, and reiterated the previous advice - that there was no objection to the proposal on highways grounds, as it was not anticipated that there would be particular road transportation problems during the necessary building works, and that parking for staff, users, and occupiers would have to be in leased spaces or public car parks. The proposal lies immediately adjacent to a Centre, and will, therefore, be considered to be accessible as it will benefit from transport modes other than reliance on the private car.

*Amenity and Privacy*

Policy 9 advises that proposals that are likely to result in a significant level of lighting shall include a full lighting scheme and will be permitted where the light proposed relates to its purpose and where there is not a significant adverse effect on the character of the area, local residents, vehicle users, pedestrians and the visibility of the night sky. Policy 30 of the Local Development Plan refers to amenity, seeking to avoid incompatible

development and significant adverse impact upon the amenity enjoyed by neighbouring properties.

Objections have been raised by several properties as to the potential for nuisance to be experienced by the operation of the site, and at the impact of the proposed external lighting, which indicates that some areas of the Island would be flood lit and light washed for functional purposes. However, the Inspector concluded in the appeal decision that these issues could be addressed by planning conditions, to ensure that an appropriate balance between the use and the impact on amenity can be ensured.

#### *Officer's response to the objections raised*

As detailed earlier in this report, further objections have been received to the proposed development. A number of these responses have referred to the use of conditions to ensure that the proposal is appropriate to the landscape and setting, however, there were concerns still expressed in relation to the impact on wildlife, the impact of external lighting, that a hotel use was proposed and at the uncertainty in respect of the bridge.

Tenby Town Council has recommended that this application be refused, as it considers that the ...'proposal lacks clarity about the eventual use making it difficult to assess the full impact of the application'. However, it is clear from the appeal decision that the Inspector considered that the uncertainty in respect of the proposed uses, including any proposed residential or hotel uses, could be dealt with by condition. There has been no further information or material consideration that would outweigh this conclusion, and officers consider that in view of the Inspector's findings the use of a planning condition to ensure the precise uses contained in the development would be appropriate.

#### **Other Material Considerations**

- **Drainage matters:**  
Policy 32 of the Local Development Plan requires development to incorporate sustainable drainage systems for the disposal of water on site. The application proposes the use of the mains sewer for foul drainage, with surface water being discharged to the existing watercourses. Welsh Water was consulted on the application and has raised no objection to the proposal subject to conditional requirements for arrangements for foul and surface water drainage.
- **The Appeal Decision – APP/L9503/A/13/2210367:**  
As detailed in the report, the recent appeal decision is a material consideration which has significant weight. The re-submitted planning application is unchanged from the original submission considered on appeal, save for the new protected species survey, thus the appeal decision is relevant to the determination of this current application. Members will note that officers have inserted pertinent comments into

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the main report; however the appeal decision is appended to this report in its entirety for reference.

### **Conclusion**

Following consideration of the policies within the Local Development Plan and having regard to all material considerations including the Appeal Decision and the Inspector's findings and conclusions, the proposal will add to the tourist offer of Tenby by providing a new visitor attraction. This attraction will provide economic benefit as well as protect the integrity of the historic fort by providing a new use.

Subject to a detailed scheme of conditions to control the use and details, the development is considered acceptable in accordance with the aims and requirements of policies 1, 2, 8, 9, 10, 11, 14, 15, 29, 30, 32, 33, 34, 35, 52 and 53 of the Pembrokeshire Coast National Park Local Development Plan (Adopted September 2010).

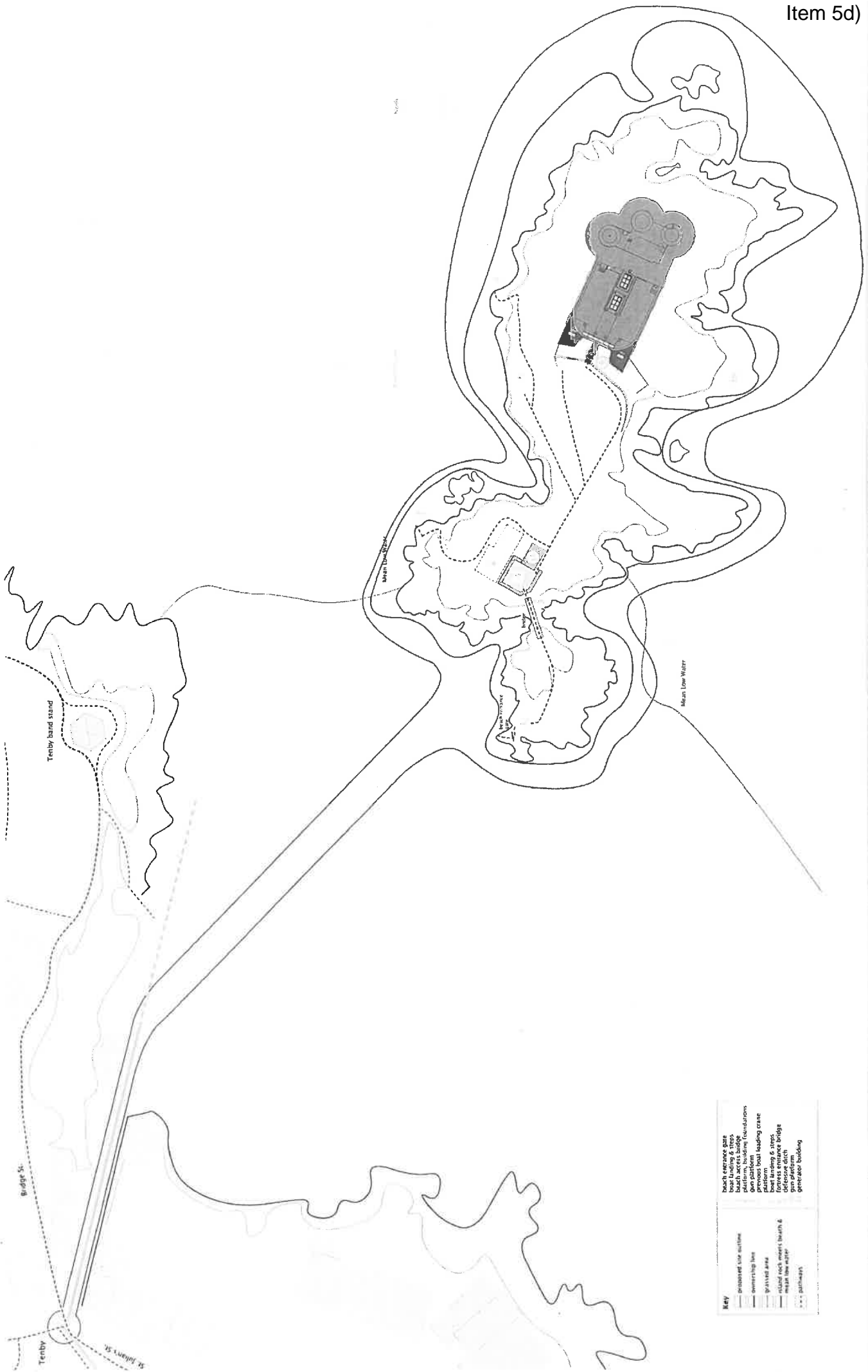
### **Recommendation**

As the range of conditions to be imposed requires further consideration and scrutiny and that officers will be required to ensure that all conditions are carefully worded to meet the six tests to ensure effectiveness (as outlined in Welsh Government Circular 016/2014) it is recommended that the application be delegated to the Chief Executive (National Park Officer) / Director of Park Direction and Planning or Head of Development Management to grant planning permission subject to conditions.

At the time of writing it is considered that such conditions would relate to the following matters:

- time compliance
- layout to be limited strictly in accordance with plans
- the proposed mixed uses being ancillary and subservient to the main use of the fort as a visitor attraction with no uses being operated individually of the attraction and no full residential use,
- activities and uses to be limited strictly in accordance with plans
- no outdoor storage of goods
- the cabin to be occupied ancillary to the use of the fort and island and not as a sole/main residence or for any commercial use
- a detailed external lighting scheme indicating candela, light spillage and hours of operation
- hours of operation for the visitor attraction
- noise levels and no amplified sounds/music outside of the Fort itself
- no display of advertisements without advertisement consent
- archaeological condition
- method statement for the construction period
- conditions suggested by statutory consultees
- conditions recommended on the Habitats Regulations Assessment





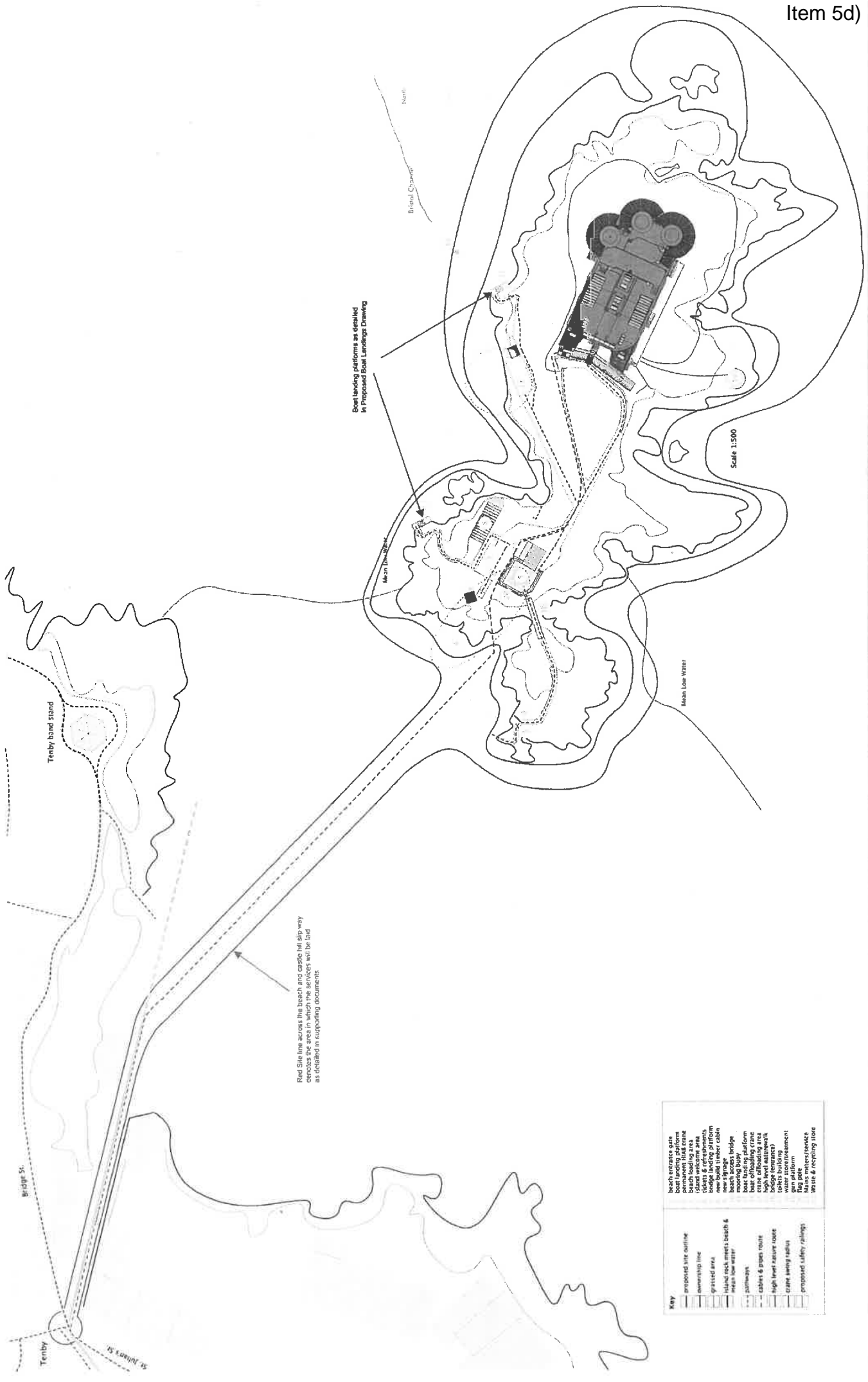
Key	
—	proposed use outline
- - -	existing use outline
—	existing line
—	walked area
—	existing rock walls (beach & mean low water)
...	paths
—	back entrance gate
—	back access bridge
—	platform, building foundations
—	armoury
—	gen. post (old) loading crane platform
—	5. Store
—	fortress entrance bridge
—	defensive ditch
—	generator building

Site plan to scale 1:500

Client's details:  
 composedesignland.co.uk  
 www.tenbyisland.co.uk  
 Planning Ref: 1

**FORTRESS**  
 Existing Site Plan  
 Project Ref: 101-141-111  
 Drawing No: 101-141-111-01A  
 Date: 12/07/11





Red Site line across the beach and castle hill slip way denotes the area in which the services will be laid as detailed in supporting documents

Boat landing platform as detailed in Proposed Boat Landings Drawing

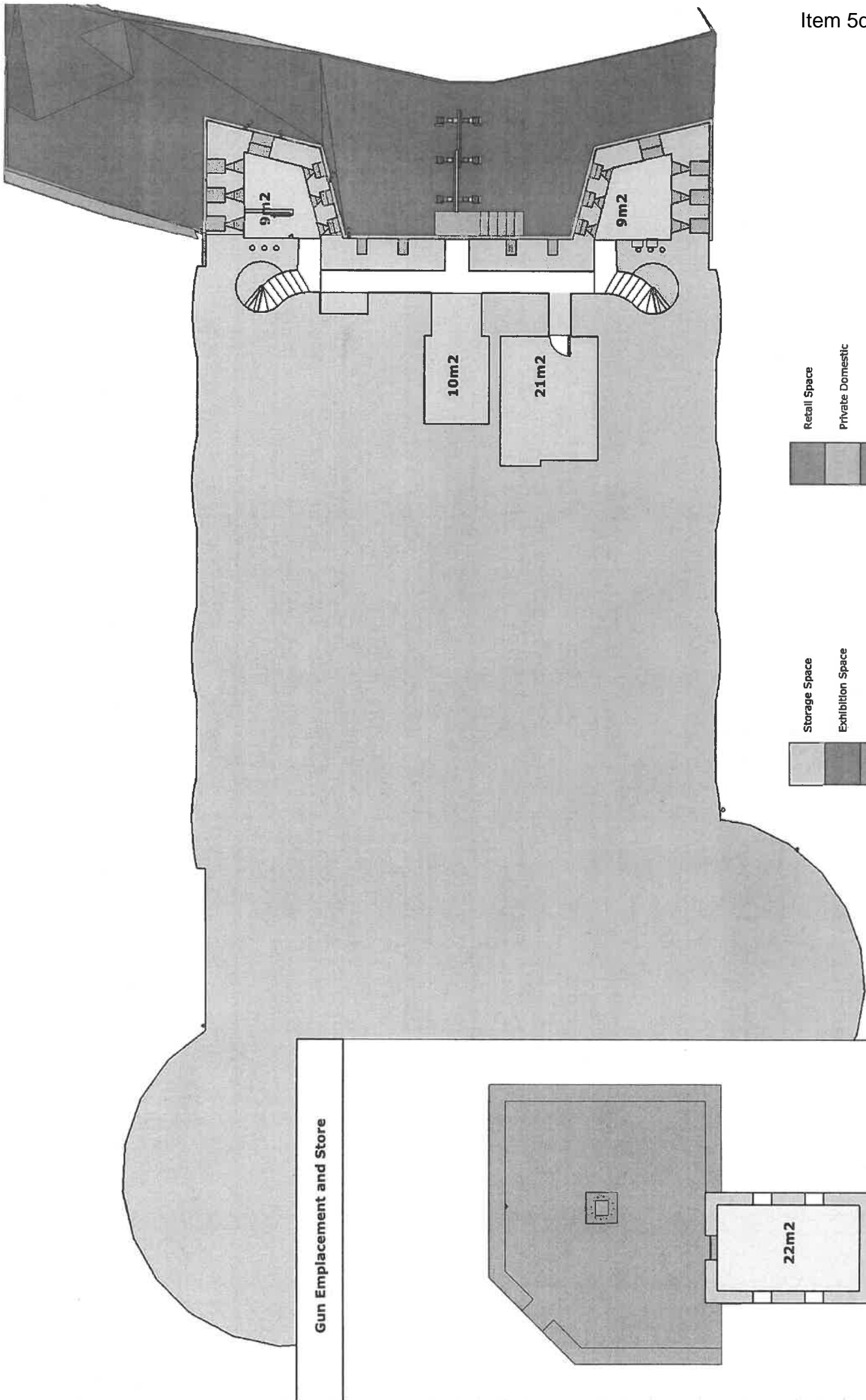
Scale 1:500

Key	
—	proposed site outline
—	ownership line
—	gravelled area
—	shaded rock meets beach & mean low water
—	pathways
—	cables & pipes route
—	high level nature route
—	claire wing radius
—	proposed utility risings
—	boat landing platform
—	permanent H&A crane
—	island welfare area
—	tidals & refreshments
—	new walk in timber cabin
—	new signage
—	mooring bay
—	boat landing platform
—	crane offloading area
—	high level asphalt work
—	toilet (biomass)
—	water storage/reservoir
—	flag pole
—	Mainc meters/service
—	Waste & recycling store

Site plan to scale 1:500

Client's details  
 com.ac@tenbyisland.co.uk  
 www.tenbyisland.co.uk  
 Manning Page Ref. 2

**FORTRESS**  
**Proposed Site Plan**  
 Project Ref: SC1-PA1-01/12  
 Drawing no: SC1-PA1-PPR-01A  
 Date: 20/06/12



Item 5d)

St Catherine's Fort : Floor Plans

Document consists of 2, color and 7, black

**FORTRESS**

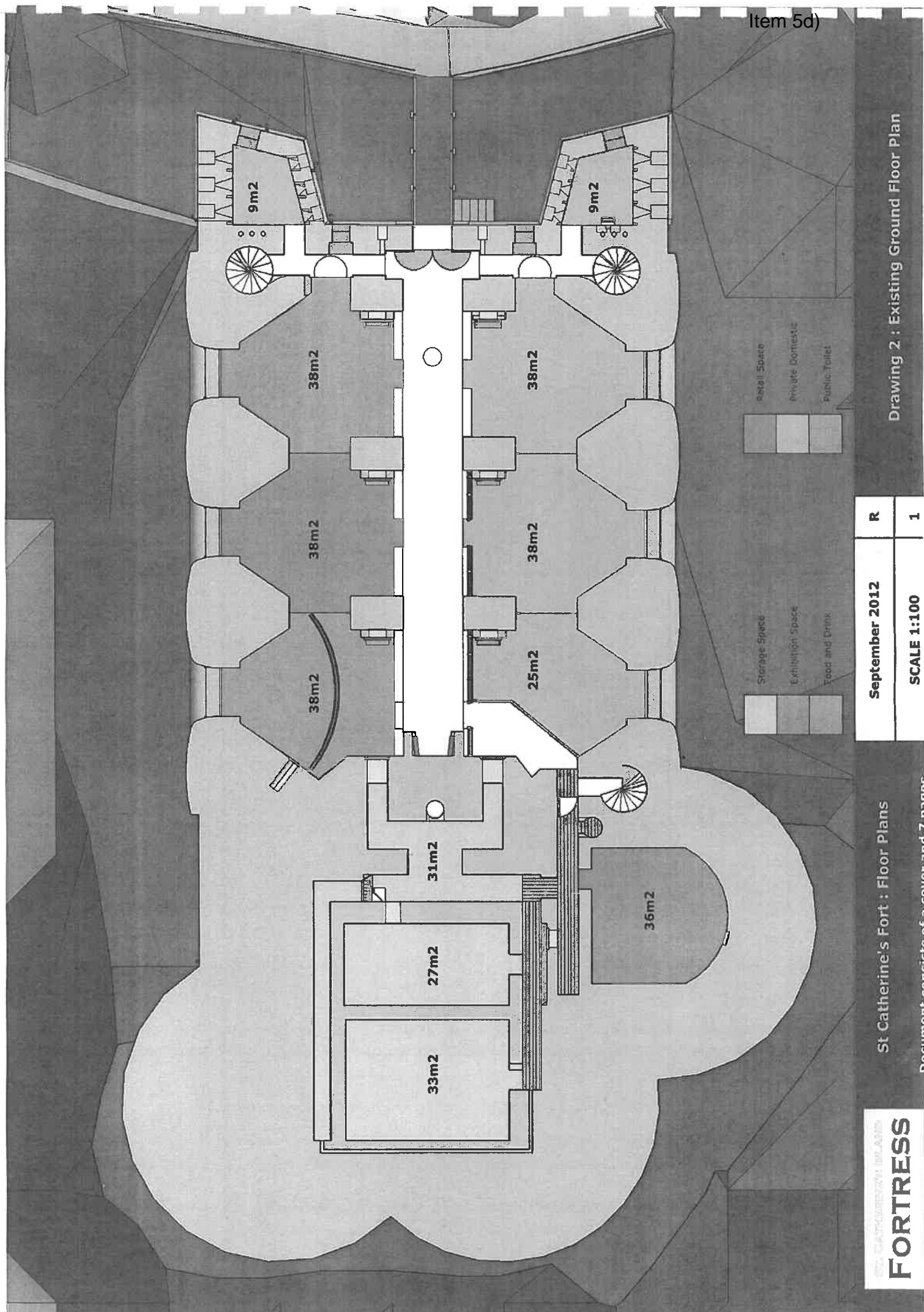
September 2012

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SCALE 1:100

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Drawing 1 : Existing Basement and Store Floor Plan



St Catherine's Fort : Floor Plans

September 2012  
SCALE 1:100

Document consists of a cover and 7 pages

**FORTRESS**

St. Catherine's Fort

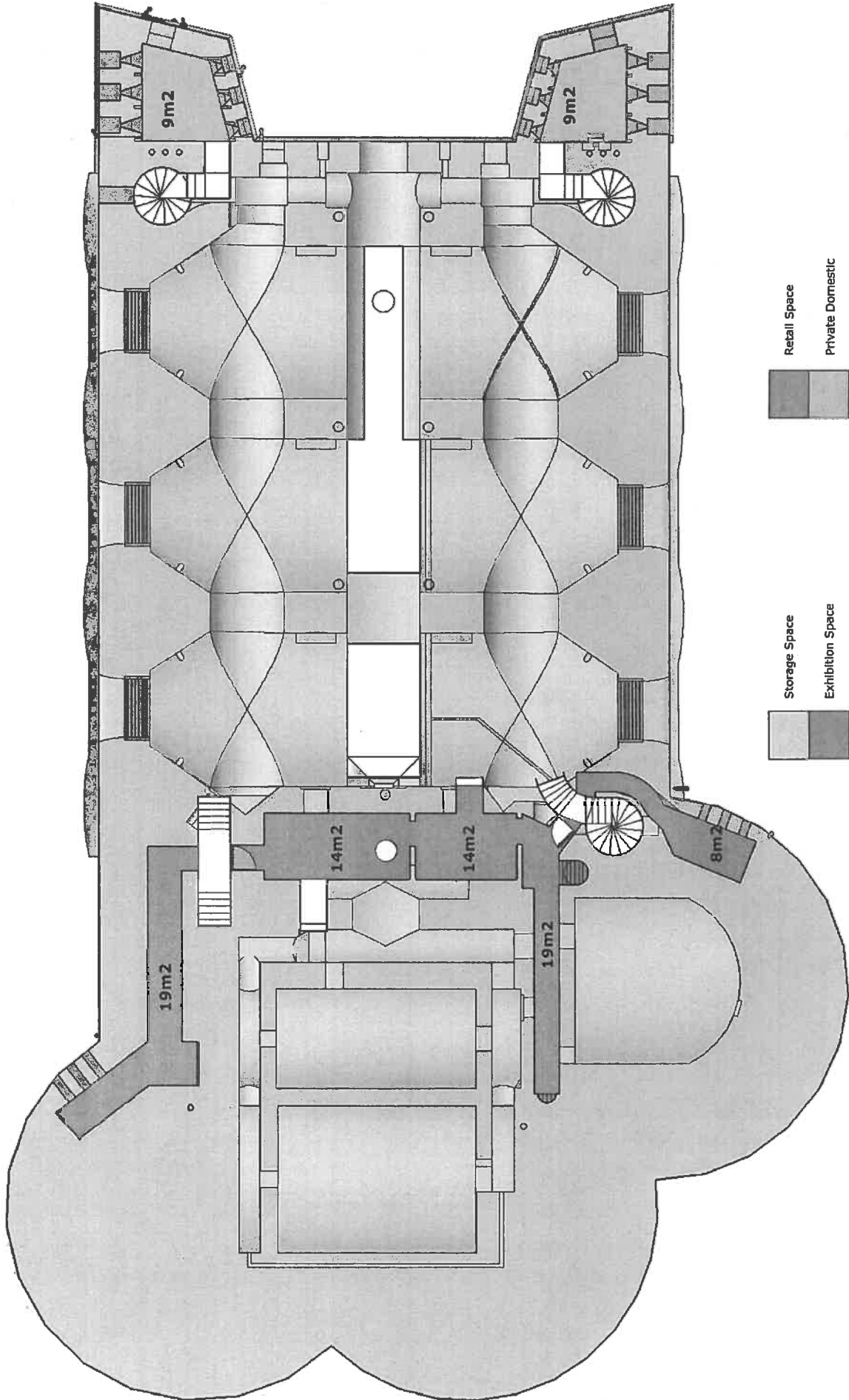
September 2012

SCALE 1:100

1

R

Drawing 2 : Existing Ground Floor Plan

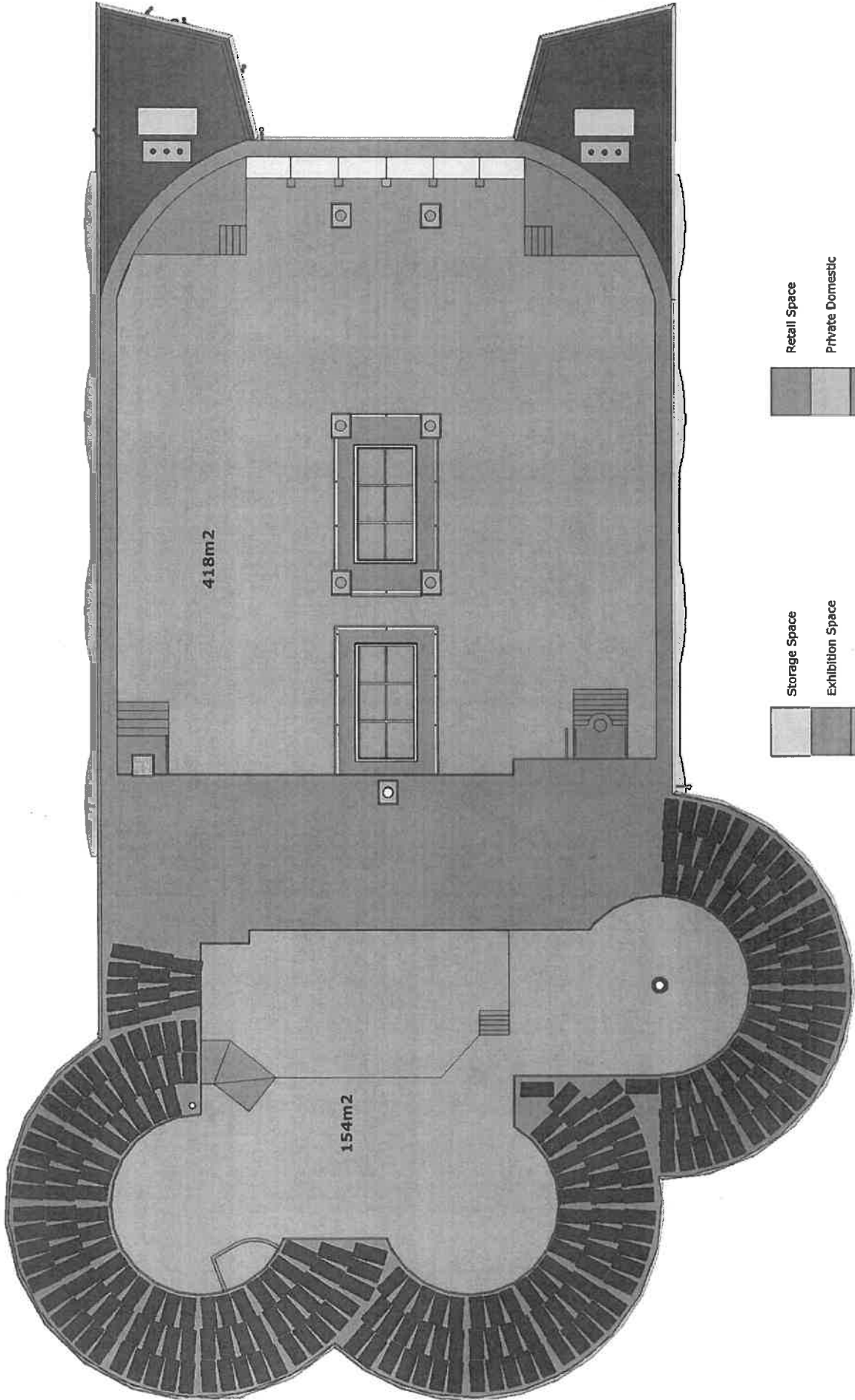


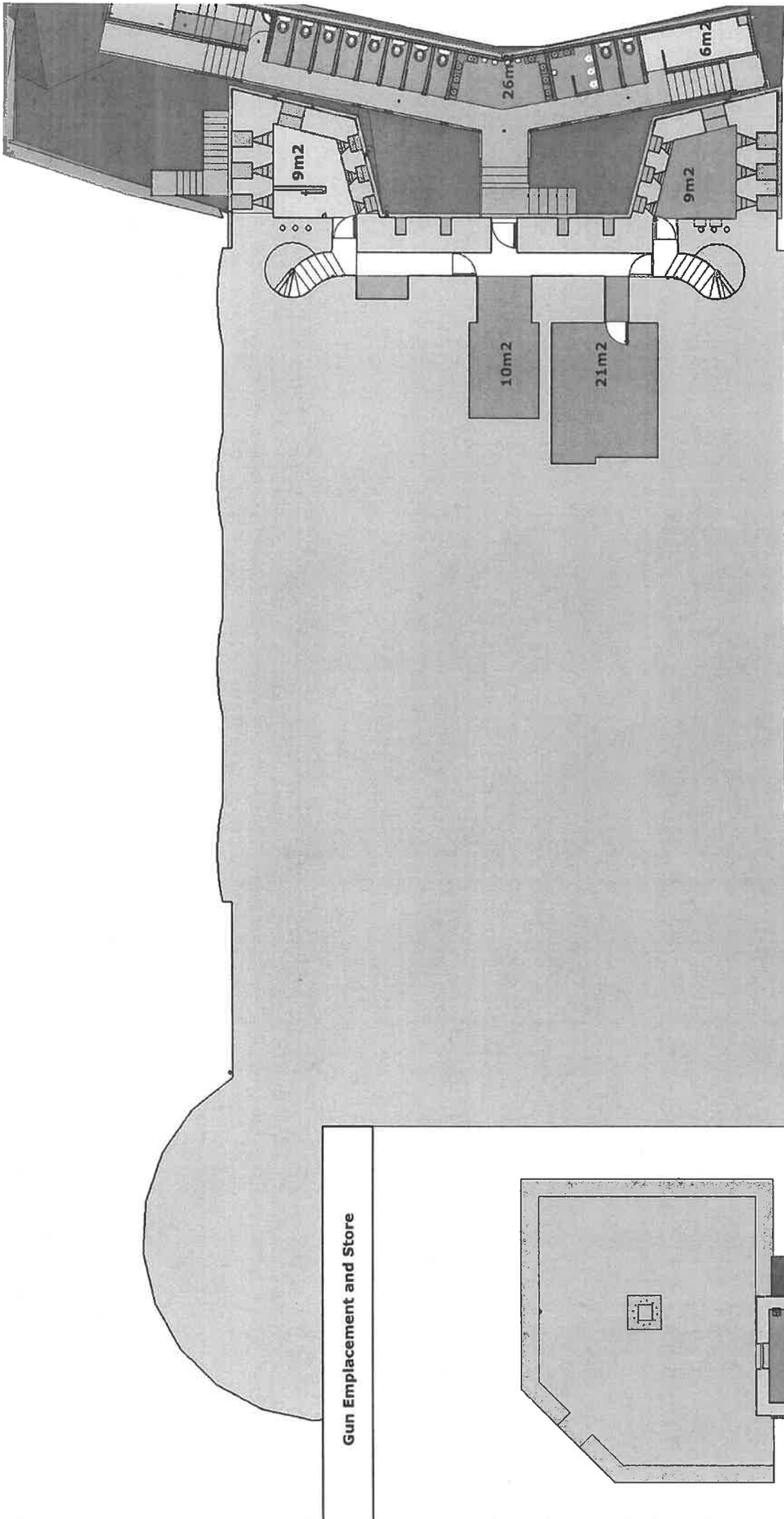
**FORTRESS**  
 ST. CATHERINE'S FORT ADMINISTRATION INC. (S.C.F.A.I.)  
 Document consists of a cover and 7 pages

**St Catherine's Fort : Floor Plans**

<b>September 2012</b>	<b>R</b>
<b>SCALE 1:100</b>	<b>2</b>

**Drawing 3 : Existing First Floor Plan**



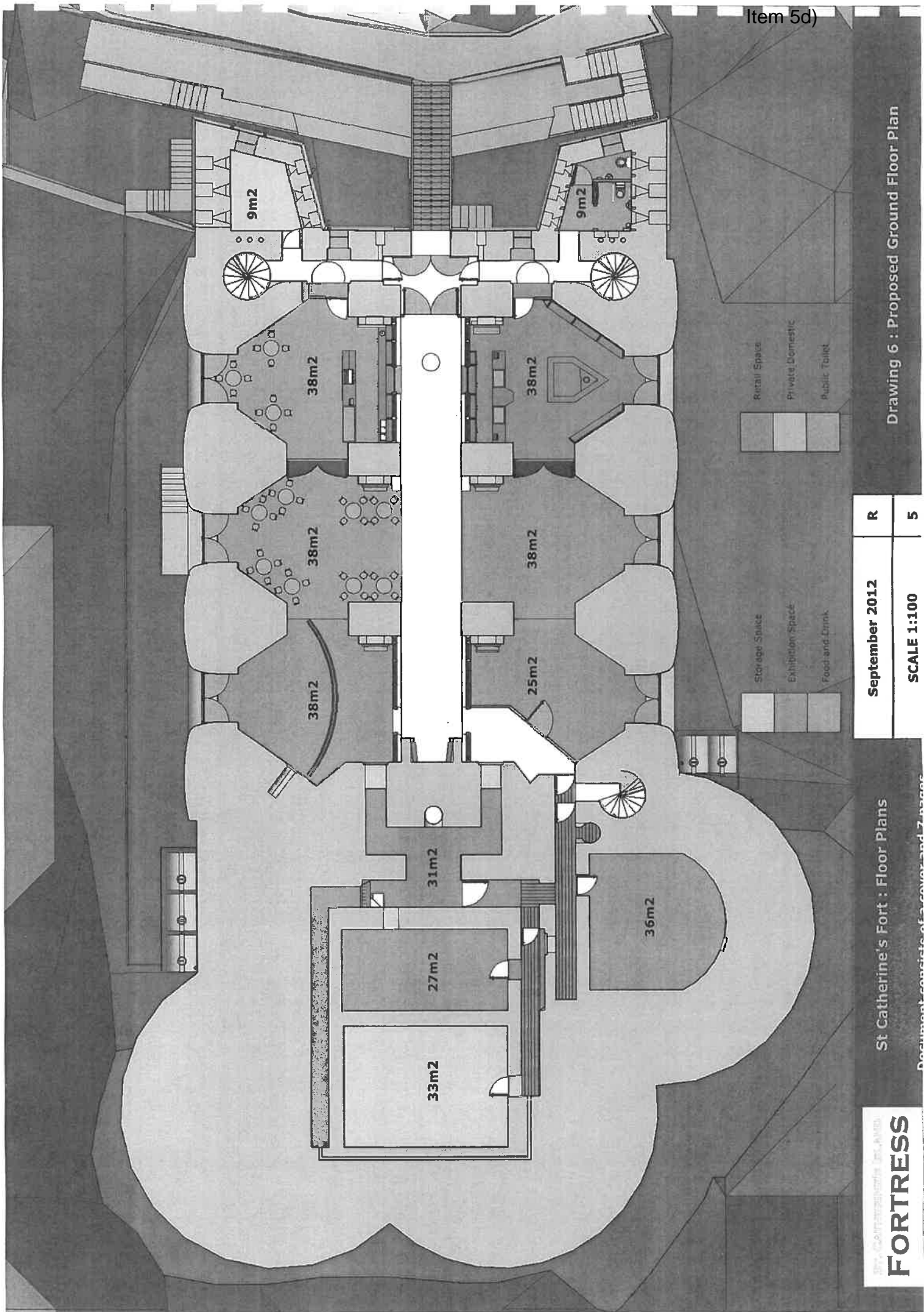


Item 5d)

<b>St Catherine's Fort : Floor Plans</b> <small>Document consists of a cover and 7 pages</small>		<b>September 2012</b>	<b>R</b>	<b>Drawing 5 : Proposed Basement and Store Floor Plan</b>	
		<b>SCALE 1:100</b>	<b>4</b>		

**FORTRESS**  
Architectural Services





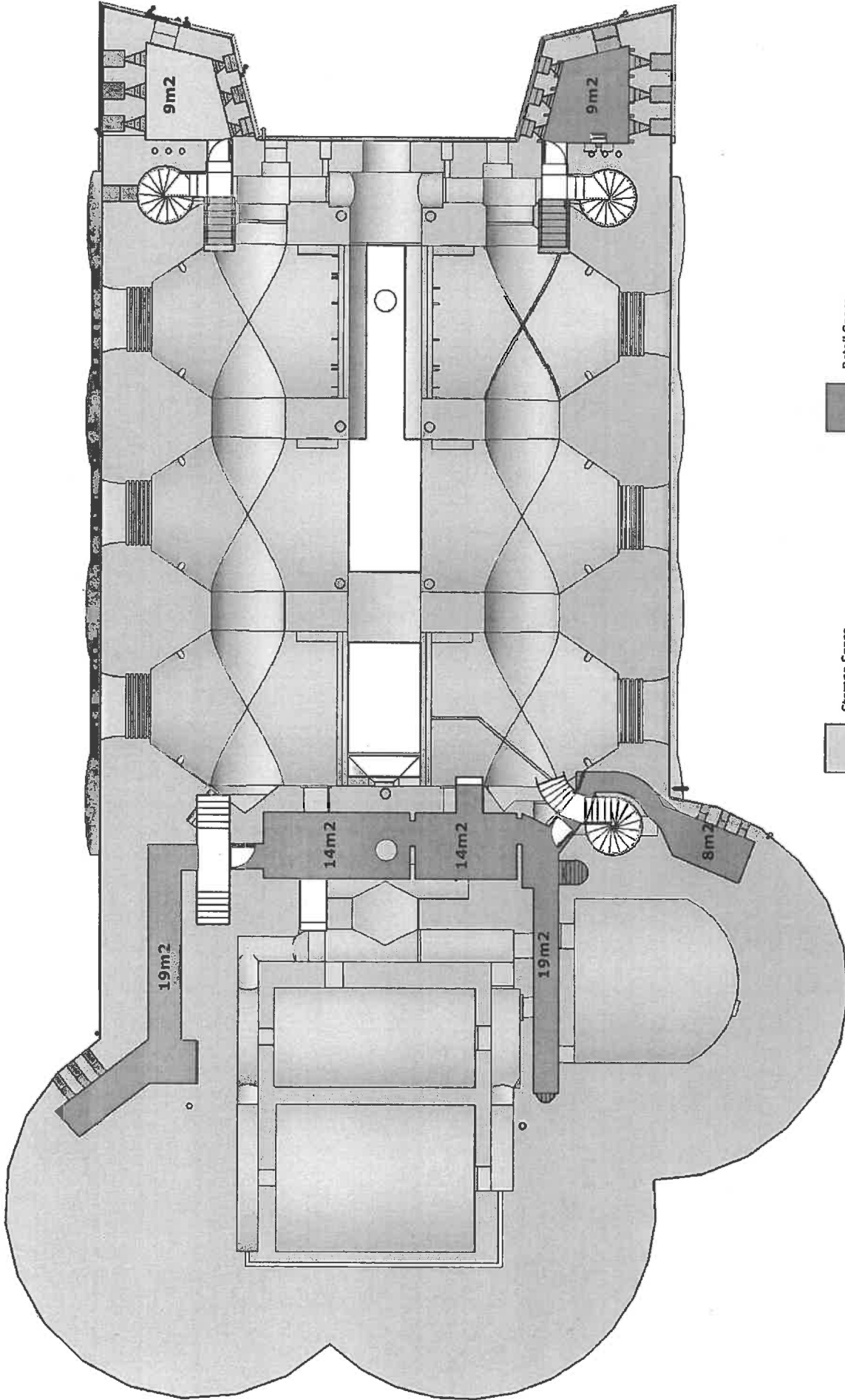
Drawing 6 : Proposed Ground Floor Plan

September 2012	R
SCALE 1:100	5

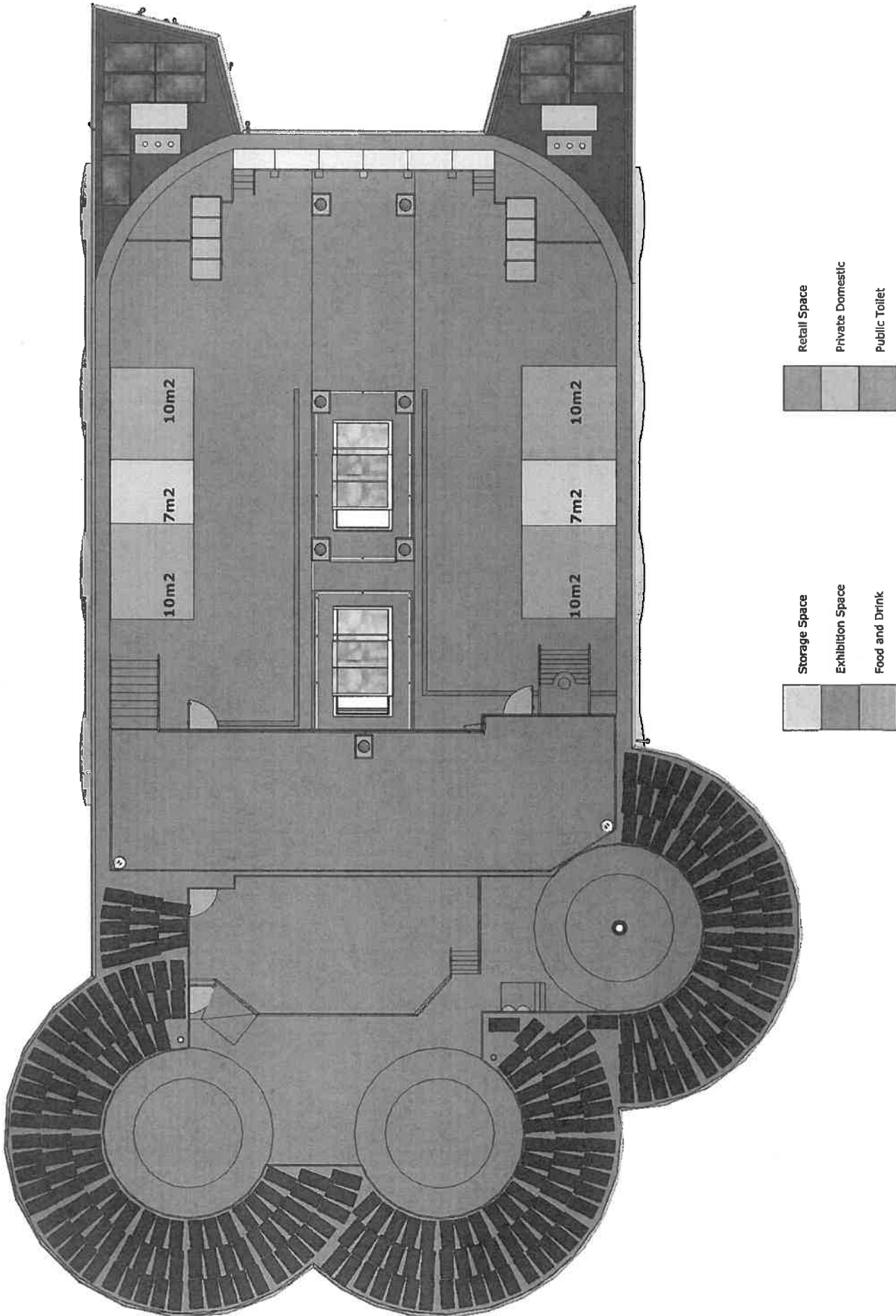
St Catherine's Fort : Floor Plans

St. Catherine's Fort  
**FORTRESS**

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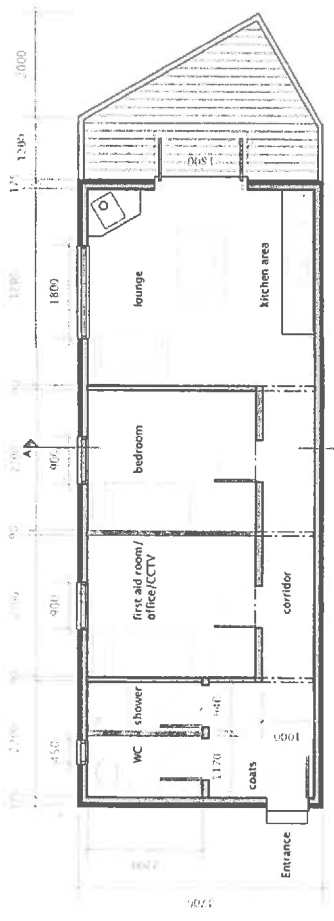




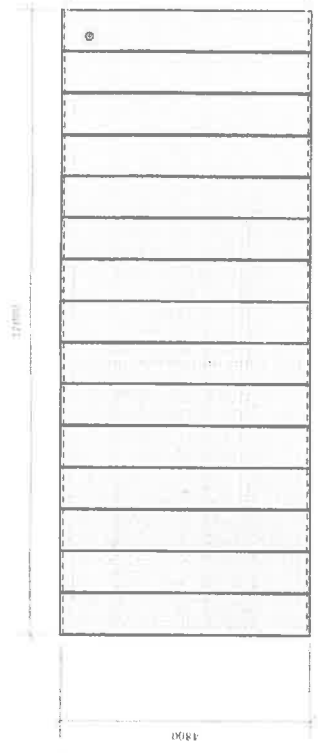




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 info@composedesign.co.uk



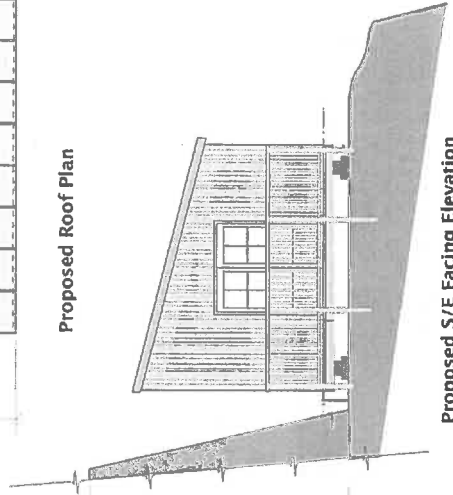
Proposed Floor Plan



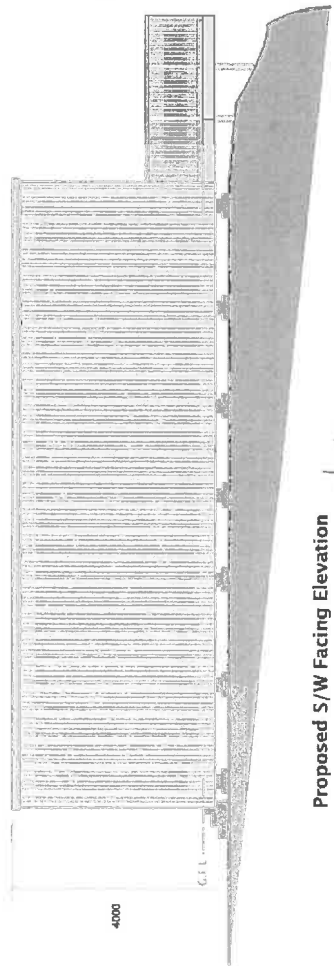
Proposed Roof Plan



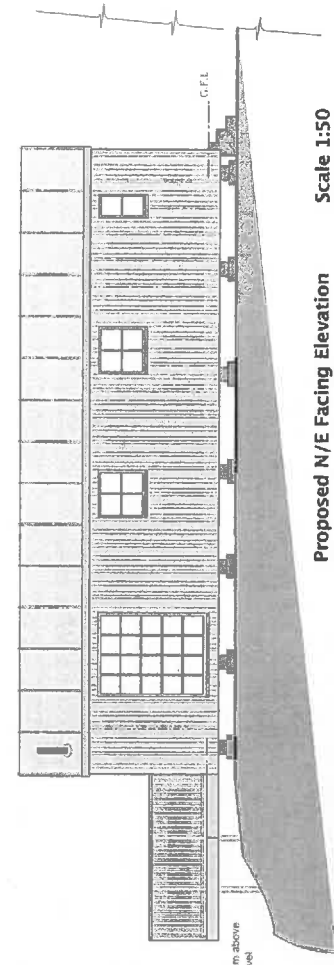
Site plan scale 1:2000



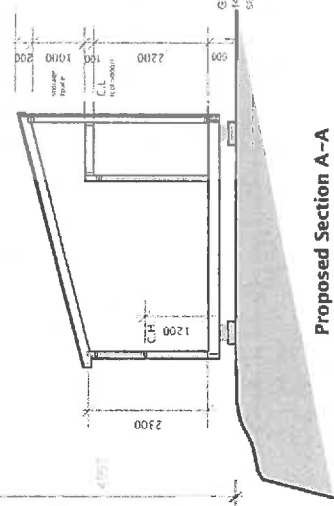
Proposed S/E Facing Elevation



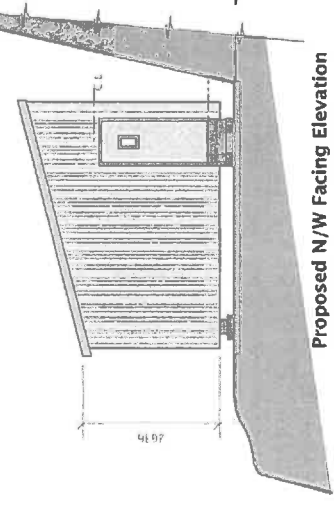
Proposed S/W Facing Elevation



Proposed N/E Facing Elevation Scale 1:50



Proposed Section A-A



Proposed N/W Facing Elevation

**Drawing Notes**

- Timber cabin to provide accommodation for 24 hour on site security & first aid facilities.
- New build timber cabin to be of timber construction, timber clad with a sloped simulated lead roof.
- Timber deck/balcony with railings to extend out from S/E facing end

**FORTRESS**  
 Client/s details  
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 Planning Page Ref. 8

**New Build Timber Cabin  
 Proposed Plans & Elevations**  
 (all drawn to scale 1:100)

Project Ref. SCF-PA1-01/12  
 Drawing no. SCF-PA-NB1-P&E01A  
 Date: 10/07/12