

**Application Ref: NP/16/0630/LBA**

<b>Case Officer</b>	Rob Scourfield		
<b>Applicant</b>	Picton Castle Estate		
<b>Agent</b>	Mr M Vines Acanthus Holden Ltd		
<b>Proposal</b>	Conservation and restoration of historic garden buildings and ancillary structures including reinstatement of glasshouse, to provide improved public access and interpretation		
<b>Site Location</b>	Picton Castle Walled Garden, The Rhos, Haverfordwest, Pembrokeshire, SA62 4AS		
<b>Grid Ref</b>	SN00851342		
<b>Date Valid</b>	01-Dec-2016	<b>Target Date</b>	25-Jan-2017

This application falls within the provisions of the listed building delegation Direction awarded to this Authority by the Welsh Government on 25th July 2012. However, this application is to be considered by the Development Management Committee, because a former member of the authority is a trustee of the Picton Castle Trust and an employee of the Authority is also a Trustee.

**Consultee Response**

**PCNPA - Tree and Landscape Officer:** No response received at time of writing this report

**Uzmaston, Boulston & Slebech C C:** No response received at time of writing this report

**CADW - Protection & Policy:** No response received at time of writing this report

**PCNPA - Access Manager:** No objection - as no Public Rights of Way are affected.

**PCC - Transportation & Environment:** No objection

**Dyfed Archaeological Trust:** Conditional Consent

**PCNPA - Ecologist:** Conditional Consent

**Public Response**

The application has been appropriately advertised and one response (support) has been received at the time of this report.

**Policies Considered**

As this application is for listed building consent, section 16 of the Planning (Listed Building and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving the building, its setting or any features of special architectural or historic interest. There is, therefore, no statutory requirement to determine the application in accordance with the policies of the development plan.

Welsh Office Circular 61/96 (Historic Buildings and Conservation Areas) is a material consideration, with guidance provided by Conservation Principles for the Sustainable Management of the Historic Environment of Wales (Cadw, 2011).

### **Constraints**

Ancient and Semi Natural Woodland - within 25m  
 LDP Mineral Safeguard  
 Historic Landscape  
 Safeguarding Zone  
 Recreation Character Areas  
 Low Coal Risk  
 CADW Regd Gardens - within 25m  
 CADW Regd KitchenGardens - within 25m  
 Landscape Character Assessment

### **Officer's Appraisal**

As this application is for listed building consent, section 16 of the Planning (Listed Building and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving the building, its setting or any features of special architectural or historic interest. There is, therefore, no statutory requirement to determine the application in accordance with the policies of the development plan.

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### **Background & Description**

The walled garden at Picton Castle is a listed Grade II building and lies within a Registered Park and Gardens (listed at Grade II\*). The garden is situated some 200 metres west of Picton Castle, south of the rear drive.

The garden is thought to date largely from the 1820s, comprising a single walled/railed enclosure with lean-to buildings on the outer side of the north wall, with ancillary structures beyond, these all in poor repair or part-demolished. The lean-to buildings were used as a shop and tea room in the later C20.

The south and west walls are mostly constructed of rubble stone, faced with brick to the north-west and west, against which hot-houses once stood. The east boundary comprises fine cast-iron railings of strap-work design on plinth walls with a central pair of matching gates hung on rendered piers with pineapple finials. The garden itself was laid out in the later C20, as a pleasure garden complete with central pond.

The lean-to structures (former bothies, workshops and head gardener's office) are built against the outer north face of the garden. These are rubble-built, with slate roofs and brick chimney stacks. The western portion has been re-roofed in

corrugated sheeting. Some features are retained within, notably the head gardener's office at the east end, which has a cast-iron fireplace with simple timber surround, and glazed display cases. Adjacent is a fruit-store, both rooms with plaster ceilings. A ladder stair leads from the office to a loft which has an unusual bottle and grape-drying rack. The bothy, adjacent, has a simple corner fireplace. The former shop adjoins, its roof in collapse. The eastern rooms have been reused as a fernery. The condition of the buildings is generally poor.

To the north are the brick bases of four cold frames and the base of the former tomato/cucumber house. Towards the west end is the brick base of a former glass-house, the latter to be reinstated. Later outlying buildings include a tractor shed and a toilet block, all post-1948 and not covered by listed building legislation.

### **Relevant Planning History**

NP/16/0629 - Erection of tractor shed, glass house and bat house. Provision of flue to teaching room - under consideration.

### **Current Proposal**

The proposal forms part of the drive to improve the visitor amenity of Picton Castle and gardens. The proposal comprises:-

- Conservation and repairs to garden walls. Repairs include repointing defective areas in lime mortar with defective areas (including the south-west and areas of the eastern plinth) to be rebuilt using existing materials. The cast iron gates are to be repaired, with one defective pier rebuilt to match the existing. Wall cappings are to be repaired or replaced where defective in weathered ashlar.
- Conservation and restoration of historic garden buildings and ancillary structures. In terms of the walled garden itself, defective areas of walling are to be repaired and repointed, with some areas requiring like-for-like rebuilding in materials salvaged from site. The lean-to buildings are to be carefully repaired. The roofs are to be re-slatted, the existing fernery roof replaced with a glazed aluminium roof. Rainwater goods are to be in cast-iron. The buildings are to be re-pointed in lime mortar, with all defective brick arches carefully re-set. Existing joinery is to be repaired, with some particularly defective windows replaced like-for-like. The chimneys are to be rebuilt like-for-like, and the interior of the head gardener's office carefully repaired, as a visitor attraction. Apart from the glazed roof, the main new works include a stove-pipe to the former shop, along with the insertion of glazed timber doors within the existing wide opening, this space along with the bothy to be re-used as teaching rooms.
- Conservation and restoration of ancillary structures. The existing brick cold-frame bases are to be repaired and reused as raised beds, with one restored using original timber framing. The remains of the peach house (against the outer south wall) are to be consolidated in salvaged brick. Drainage gulleys and paths are all to be carefully cleared and repaired.

- Reinstatement of glasshouse. The brick plinth and rear wall of the historic glasshouse survives, as well as the base of a smaller and later greenhouse, which has also long collapsed. Subterranean water tanks survive, along with the boiler pit to the rear. The proposal is to construct a bespoke 'heritage' glasshouse on the existing walls, which are to be repaired. The structure is to be of coated aluminium with pitched roof forming a 'catslide' to the south. The building is to be used for visitor interpretation of historic propagation techniques.

The proposal is considered acceptable in terms of preserving the architectural and historic character of the property, under the provisions of Circular 61/96 (Planning and the Historic Environment: Historic Buildings and Conservation Areas).

In terms of Cadw's Conservation Principles:-

1. Evidential value. The existing garden buildings and site layout are to be retained as existing as part of the visitor amenity of Picton Castle, with works largely comprising repair, or like-for-like replacement where elements are beyond repair. New work including the doors to the teaching room and its glazed roof reuse the existing openings and profiles respectively, and the new glasshouse reuses the historic walling, the design of traditional form. The flue to the teaching room is a new element.
2. Historical value. The emphasis of the scheme is on careful repair and consolidation, with restoration work confined to elements beyond repair, such as selective areas of the garden wall, some windows/window heads, and roofs. The retention of the historical value of the buildings is critical to the scheme.
3. Aesthetic value. Whilst the walled garden itself is well-maintained, the walls themselves are in urgent need of conservation, and the buildings are partly derelict, partly in dangerous condition, and in the cases of glasshouse and cold-frames mostly long-lost. The conservation of the buildings and partial reinstatement of the ancillary structures is a welcome proposal and will be an obvious aesthetic improvement.
4. Communal value. The proposal will retain the character of the buildings as 'a well preserved walled garden' forming 'an important component to the setting of Picton Castle', as noted within the list description.

## **Conclusion**

The proposed scheme is considered to be in-keeping with the existing historic building and its sensitive setting in terms of detail. It is considered to comply with the requirements of Circular 61/96, and Cadw's Conservation Principles. As such, the application can be supported subject to conditions.

## **Recommendation**

That listed building consent be granted subject to the following conditions:-

1. The development shall begin not later than five years from the date of this decision.  
**Reason:** Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
  
2. The works hereby permitted shall be carried out, and thereafter retained, strictly in accordance with the following detailed drawing references (dated 28/11/16):-  
A2060/S-003 (rev A), A2060/SK-01, A2060/S-002(rev G), A2060/S-100 (rev D), A2060/S-101 (rev E), A2060/S-102 (rev E), A2060/S-103 (rev E), A2060/S-104 (rev C), A2060/S-105 (rev C), A2060/S-107(rev C), A2060/P-004 (rev A), A2060/P-100 (rev A), A2060/P-101(rev A), A2060/P-103 (rev A), A2060/P-105 (rev A) , A2060/P-002 (rev C), A2060/P/102 (rev B), A2060/P/104 (rev E) – DATED 12/01/17, Ecological Impact Assessment – Picton Castle Trust Walled Garden Project (Gould Ecology) – dated 28/11/16, Report on Trees (ref TW3363 V2) – dated 28/11/16 and Design and Access Statement (Acanthus Holden Architects ref A2060-SK-01) dated 28/11/16.  
**Reason:** To ensure a proper standard of development and appearance in the interests of conserving the amenities and architectural character of the area.
  
3. The external surface of the stove pipe shall be coated and retained matt black.  
**Reason:** To ensure a proper standard of development and appearance in the interests of conserving the amenities and architectural character of the area.  
Policy : Local Development Plan – Policies 1(National Park Purposes and Duty), 8 (Special Qualities) and 15 (Conservation of the Pembrokeshire Coast National Park).
  
4. The bat house shall be constructed prior to works commencing on site.  
**Reason:** To ensure that animal and plant species and habitats listed under the Conservation of Habitats and Species Regulations 2010 are adequately protected, and to protect and enhance the character and appearance of the site and its setting within the Pembrokeshire Coast National Park. Policy: Local Development Plan – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 11 (Protection of Biodiversity) and 15 (Conservation of the Pembrokeshire Coast National Park).
  
5. All works to be in accordance with the submitted Ecological Impact Assessment or subsequently agreed NRW licence method statement and licence. A detailed monitoring strategy is required to ensure the mitigation is successful, that no amendments are required to the bat house or any other bat mitigation features and that bats are not becoming trapped in the adjacent greenhouse. Necessary changes should be made in line with the surveyors recommendations.  
**Reason:** To ensure that animal and plant species and habitats listed under

the Conservation of Habitats and Species Regulations 2010 are adequately protected, and to protect and enhance the character and appearance of the site and its setting within the Pembrokeshire Coast National Park. Policy: Local Development Plan – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 11 (Protection of Biodiversity) and 15 (Conservation of the Pembrokeshire Coast National Park).

6. Prior to commencement of development, an external lighting plan must be submitted and approved in writing by the local planning authority prior to installation.

**Reason:** To ensure that animal and plant species and habitats listed under the Conservation of Habitats and Species Regulations 2010 are adequately protected, and to protect and enhance the character and appearance of the site and its setting within the Pembrokeshire Coast National Park. Policy: Local Development Plan – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 11 (Protection of Biodiversity) and 15 (Conservation of the Pembrokeshire Coast National Park).

7. Prior to the commencement of works on site the submission and approval by the local planning authority of a reptile method statement including details of timing of works and the location of the proposed enhancement area (600m<sup>2</sup>) is required. This should incorporate details of interpretation boards within the enhancement area.

**Reason:** To ensure that animal and plant species and habitats listed under the Conservation of Habitats and Species Regulations 2010 are adequately protected, and to protect and enhance the character and appearance of the site and its setting within the Pembrokeshire Coast National Park. Policy: Local Development Plan – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 11 (Protection of Biodiversity) and 15 (Conservation of the Pembrokeshire Coast National Park)

### **Informatives**

The proposed development lies within an area that has been defined by The Coal Authority as containing potential hazards arising from former coal mining activity. These hazards can include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and previous surface mining sites. Although such hazards are seldom readily visible, they can often be present and problems can occur in the future, particularly as a result of development taking place.

It is recommended that information outlining how the former mining activities affect the proposed development, along with any mitigation measures required (for example the need for gas protection measures within the foundations), be submitted alongside any subsequent application for Building Regulations approval (if relevant). Your attention is drawn to the Coal Authority policy in relation to new development and mine entries available at [www.coal.decc.gov.uk](http://www.coal.decc.gov.uk).

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires the prior written permission of The Coal Authority. Such activities could include site investigation boreholes, digging of foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain Coal Authority permission for such activities is trespass, with the potential for court action.

Property specific summary information on past, current and future coal mining activity can be obtained from The Coal Authority's Property Search Service on 0845 762 6848 or at [www.groundstability.com](http://www.groundstability.com)

If any of the coal mining features are unexpectedly encountered during development, this should be reported immediately to The Coal Authority on 0845 762 6848. Further information is available on The Coal Authority website [www.coal.decc.gov.uk](http://www.coal.decc.gov.uk).

BLUE LINE INDICATES OWNERSHIP BOUNDARY

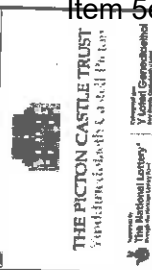
RED LINE INDICATES CHANGES OF USE APPROX 185 SQM AREA TOTAL

NF 16 6 29

Peapack  
28 NOV 2016

C	OWNERSHIP BOUNDARY CORRECTED	10/01/16	
B	CHANGES OF USE	10/06/16	
A	PLANNING AMENDMENT	2/17/16	
Rev	Description	Date	Initial

ROGER CASEY ASSOCIATES  
SHAUN KIMSEY



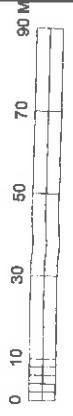
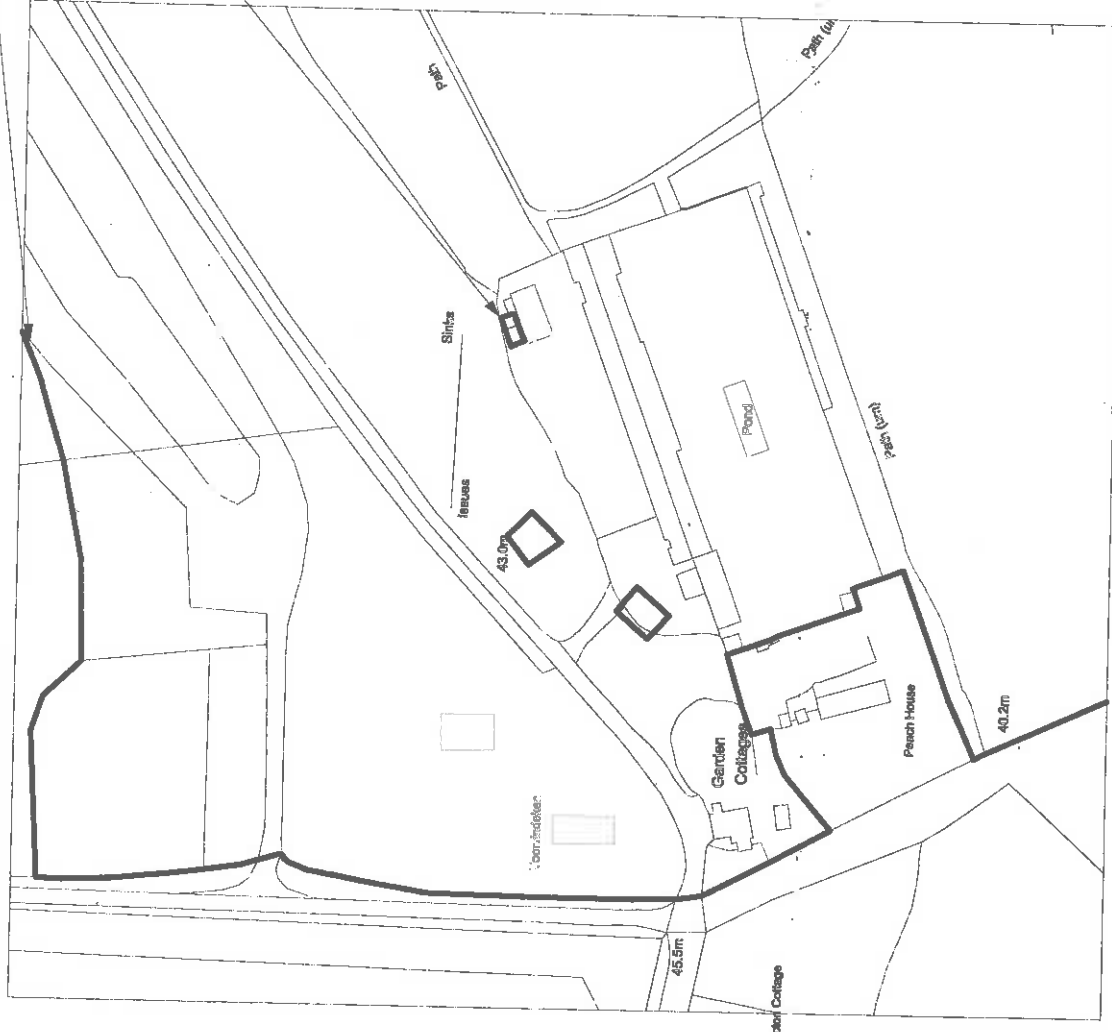
LOCATION PLAN

Scale: 1:1250 / A3

Sheet: S-000

Date: JUNE 2016

Project: PICTON CASTLE WALLED GARDEN



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**REPORT OF VISUAL IMPACT ASSESSMENT IN ACCORDANCE WITH THE LIGHT POLLUTION ACT 2010**

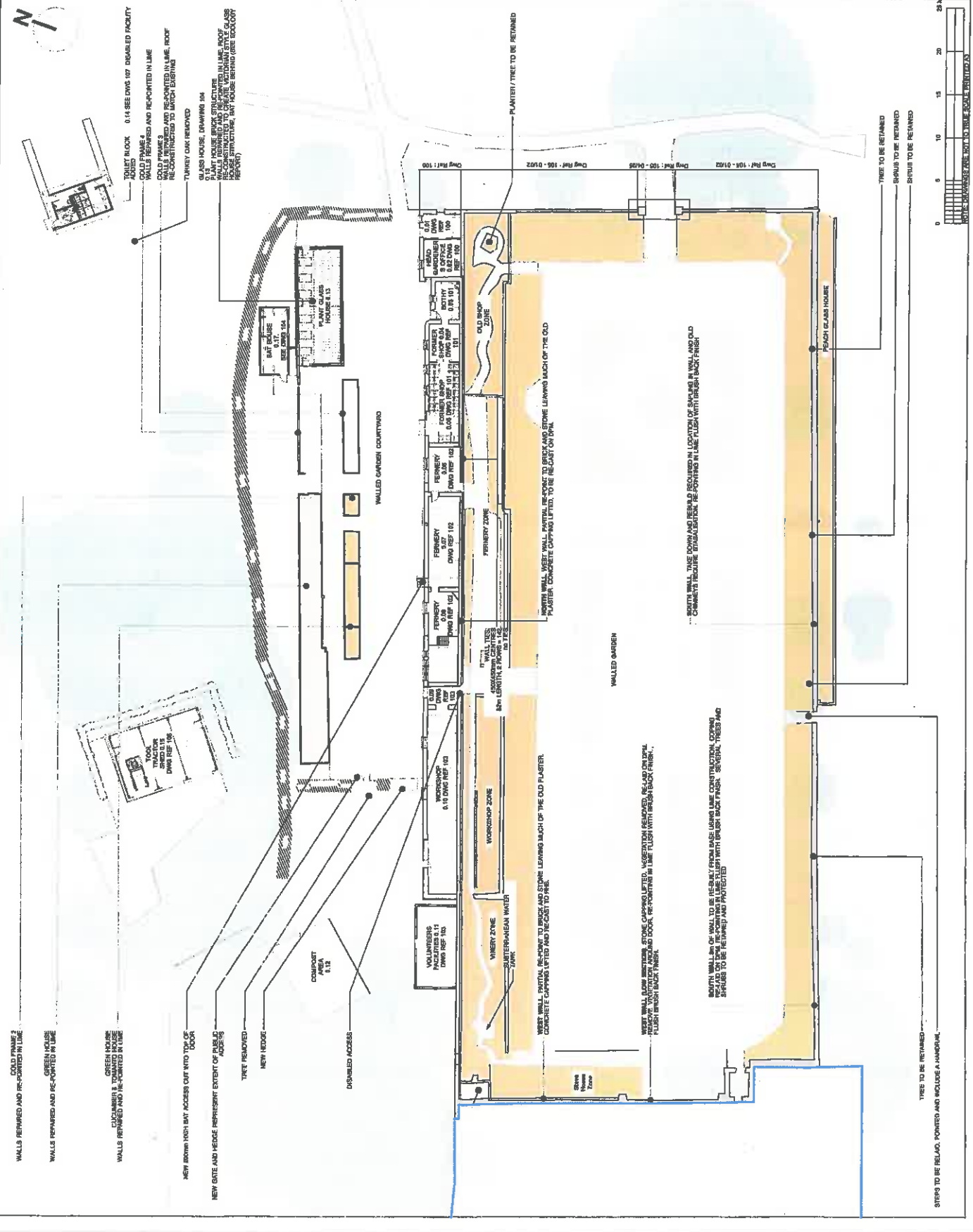
1. The survey work indicates that temporary hoarding do not need to be erected around the perimeter of the site. However, there may need to be erected in some areas where the ground level is higher than the surrounding area. It is recommended that the survey work be repeated in the future to confirm this. The survey work also indicates that the ground level is higher than the surrounding area. It is recommended that the survey work be repeated in the future to confirm this.

2. Prior to night works, the project ecologist shall visit the site to identify any protected species and their habitats. The survey work also indicates that the ground level is higher than the surrounding area. It is recommended that the survey work be repeated in the future to confirm this.

3. The survey work also indicates that the ground level is higher than the surrounding area. It is recommended that the survey work be repeated in the future to confirm this.

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NOTES ADDED	DATE		
NOTES ADDED	18/08/2016		
REVISIONS			
Rev	Description	Date	Initial

**ROGER CASEY ASSOCIATES**  
SHAUN KIMSEY

**THE PICTON CASTLE TRUST**

**PICTON CASTLE WALLED GARDEN**

Masterplan Layout

Scale: 1:200

Project: P - 002

Revision: A2080

Date: 12/08/2016

Author: MFV

Check: C

**WALLS TO BE RETAINED AND RE-POINTED IN LIME**

**WALLS TO BE RELO, POINTED AND INCLUDE A HANDRAIL**

**NEW HEDGE**

**DISABLED ACCESS**

**TREES TO BE RETAINED**

**STEPS TO BE RETAINED**

**STEPS TO BE RELO, POINTED AND INCLUDE A HANDRAIL**

**WALLS TO BE RETAINED AND RE-POINTED IN LIME**

**WALLS TO BE RELO, POINTED AND INCLUDE A HANDRAIL**

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**DISABLED ACCESS**

**TREES TO BE RETAINED**

**STEPS TO BE RETAINED**

**STEPS TO BE RELO, POINTED AND INCLUDE A HANDRAIL**

**WALLS TO BE RETAINED AND RE-POINTED IN LIME**

**WALLS TO BE RELO, POINTED AND INCLUDE A HANDRAIL**

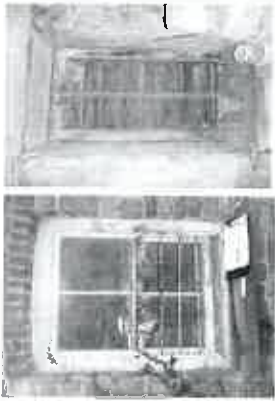
**NEW HEDGE**

**DISABLED ACCESS**

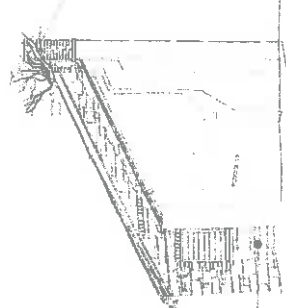
**TREES TO BE RETAINED**

**STEPS TO BE RETAINED**

**STEPS TO BE RELO, POINTED AND INCLUDE A HANDRAIL**



W1.02A



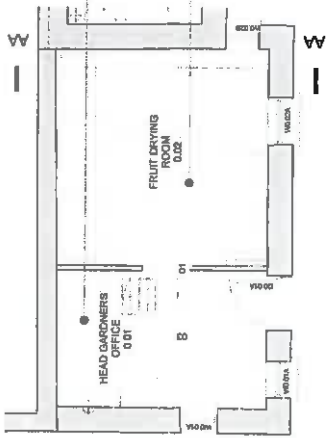
ROOF

OFFICE. Movement on ceiling adjacent to East window and front door. Timber sills to front door moved. Floor remains attractive and good. Ceiling sills. Fireplace has bird nests. Surface mounted lighting is still power available.

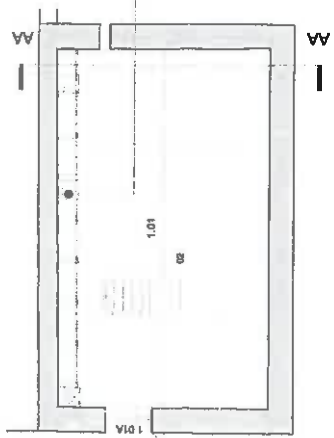
FRUIT DRYING ROOM. Check to West window and existing stairs around the LH west side a concern. Windows to north with also repairable. Movement on ceiling by windows to left & plaster. Surface mounted lighting & small power available. Drying beds require re-assembly in central region.

WEST ELEVATION. Chimney incomplete, verge and timber detailed barge board poor. Sillars movement on NW corner and between HD and OD (Sheep structure (early ridge ridge)). Loose daub, repair or replace.

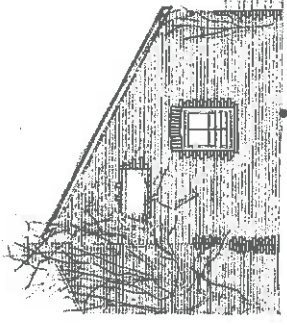
HEAD GARDENERS OFFICE - GP PLAN



HEAD GARDENERS OFFICE - FF PLAN



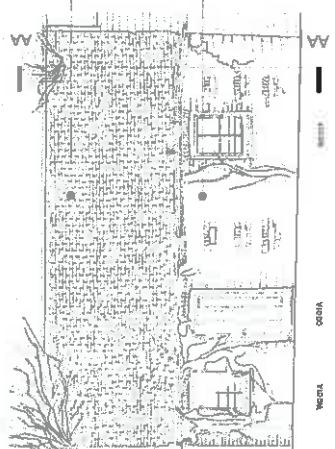
WEST ELEVATIONS



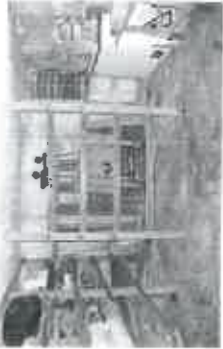
W1.01A W1.01B

EAST ELEVATION. Brickwork Chimney missing, verge poor and timber detailed barge board requires replacement, cement and earth require repair and replacement. (Notes to brick taken under S wall).

HEAD GARDENERS OFFICE - FF PLAN



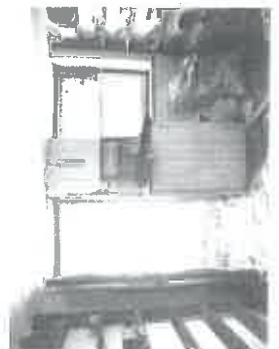
NORTH ELEVATION



BOTHY



WINE STORE FF



SITTING SHED

NOTES ADDED	DATE	BY
D	11/11/16	JK
C	14/11/16	JK
B	TITLE AMENDED	20/01/18
A	NUMBER CHANGED	06/11/18
		20/01/20

ROGER CASSEY ASSOCIATES  
SHAUN KIMSEY

NP16-6-29

WATERMARK'S LAKE  
THE GREEN  
PEMBROKE  
WALLS  
WYLLY TERN  
VIC 3745  
TEL: 08 8552 0021  
FAX: 08 8552 0022  
www.watermarks.com.au

74 401 273

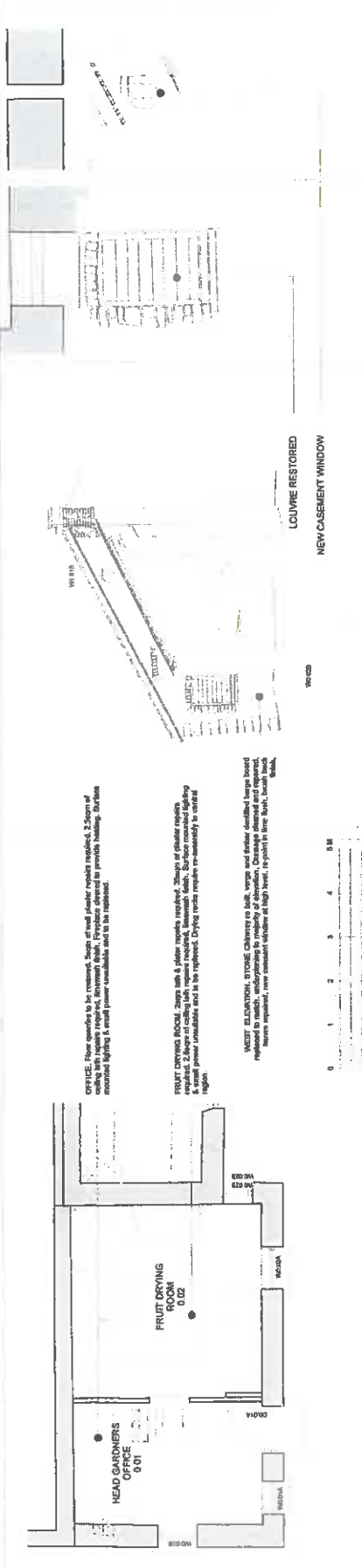
THE PICTON CASTLE TRUST

PICTON CASTLE WALLED GARDEN  
HEAD GARDENERS OFFICE

1:50 A1 SURVEY S-100  
A2:060 JN 08/05/2018

THE National Library of Australia  
Digitisation Unit

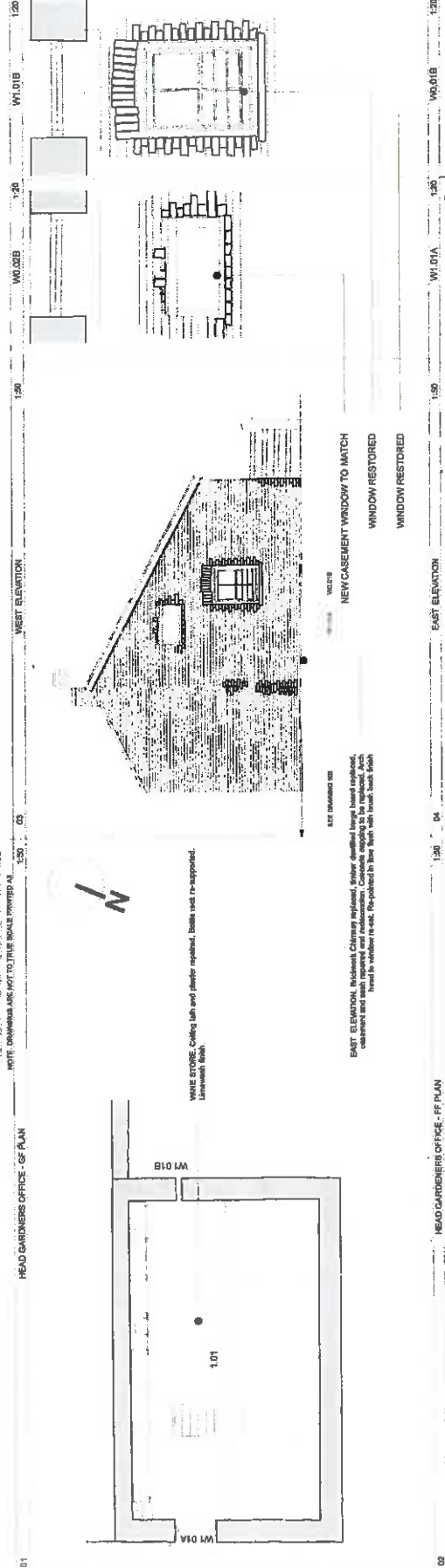
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OFFICE: Floor covering to be removed, base of wall plaster rebuilt, 2.5m of ceiling left, require repair, throughout. Plasterwork to be removed, surface mounted lighting to be replaced, plasterwork to be replaced.

FRUIT DRYING ROOM: Repair and plasterwork to be replaced. Plasterwork to be removed, surface mounted lighting to be replaced. Drying racks require re-assembly in situ.

WEST ELEVATION: STONE: Cleaned to bare, where not broken, existing surface to be repaired. Plasterwork to be replaced. Plasterwork to be removed, surface mounted lighting to be replaced. Plasterwork to be removed, surface mounted lighting to be replaced. Plasterwork to be removed, surface mounted lighting to be replaced.



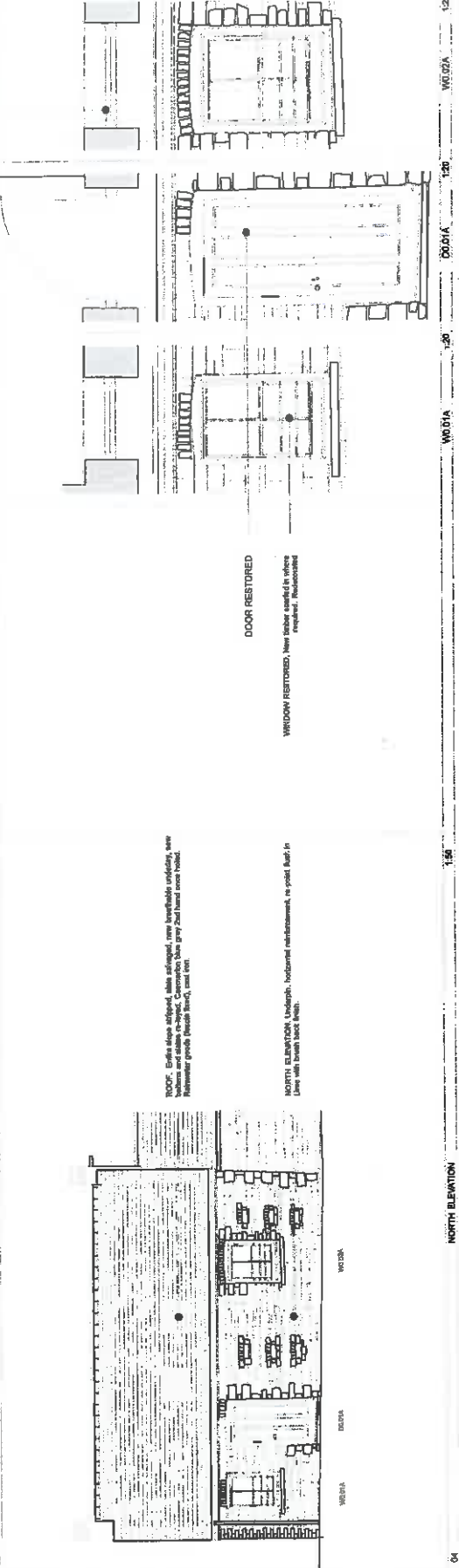
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NOTE: DIMENSIONS ARE NOT TO SCALE. DIMENSIONS ARE NOT TO SCALE. DIMENSIONS ARE NOT TO SCALE.

WEST STORE: Ceiling left and plaster repaired. Beams to be supported. Unfinished floor.

ROOF: Existing slope retained, where damaged, new lightweight waterproof, new battens and rafters to be replaced. Concrete to be replaced, arch to be replaced. Plasterwork to be replaced. Plasterwork to be replaced. Plasterwork to be replaced.

NORTH ELEVATION: Unfinished, horizontal reinforcement, to post built in place with brickwork finish.



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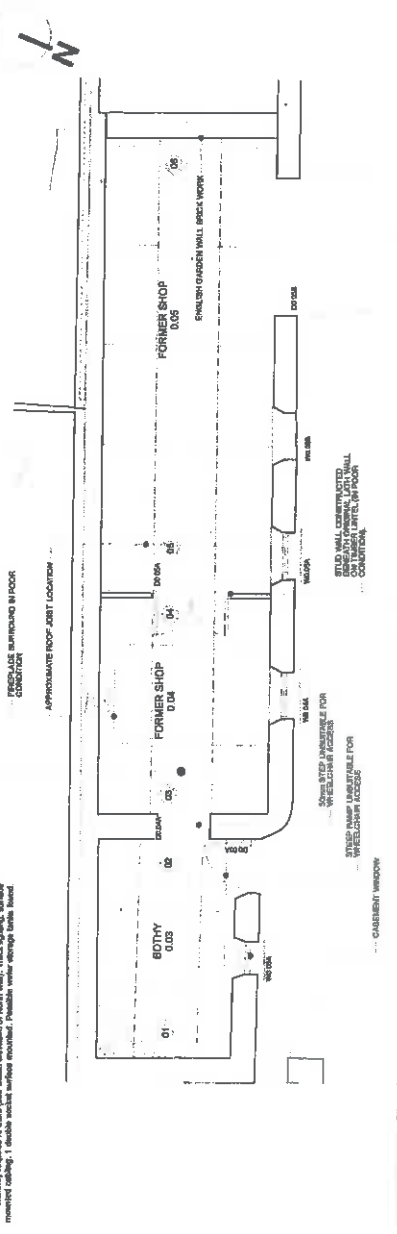
ROOF: Existing slope retained, where damaged, new lightweight waterproof, new battens and rafters to be replaced. Concrete to be replaced, arch to be replaced. Plasterwork to be replaced. Plasterwork to be replaced. Plasterwork to be replaced.

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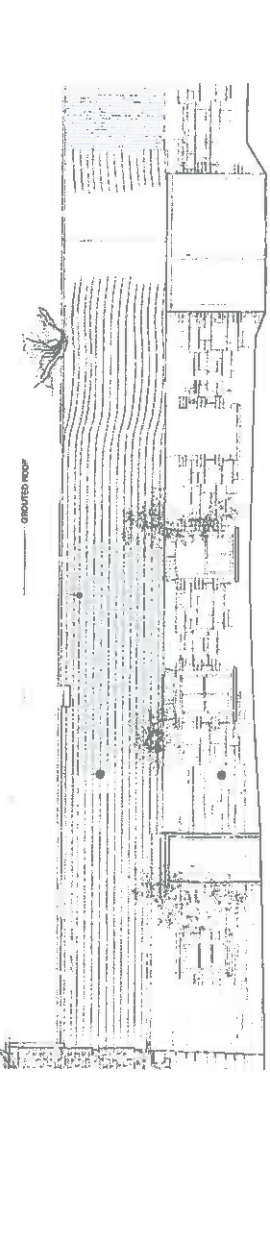
<p>WATERMANN'S LANE 100 PETERBOROUGH NORTHANTS PE16 6 29</p> <p>THE PICTON CASTLE TRUST 28 MAY 2018</p> <p>PICTON CASTLE WALLED GARDEN HEAD GARDENERS OFFICE</p> <p>Scale: 1:50 Drawing: A2060 Project: P-100 Date: 12/09/2018</p>	<p>ROGER CASEY ASSOCIATES SHAUN KIMSEY</p> <p>NOTED ADDED 16/11/17 Rev. Description Date Initial</p>
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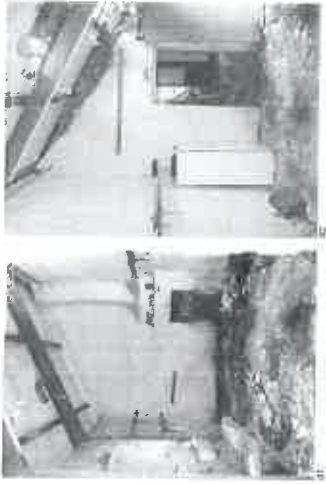
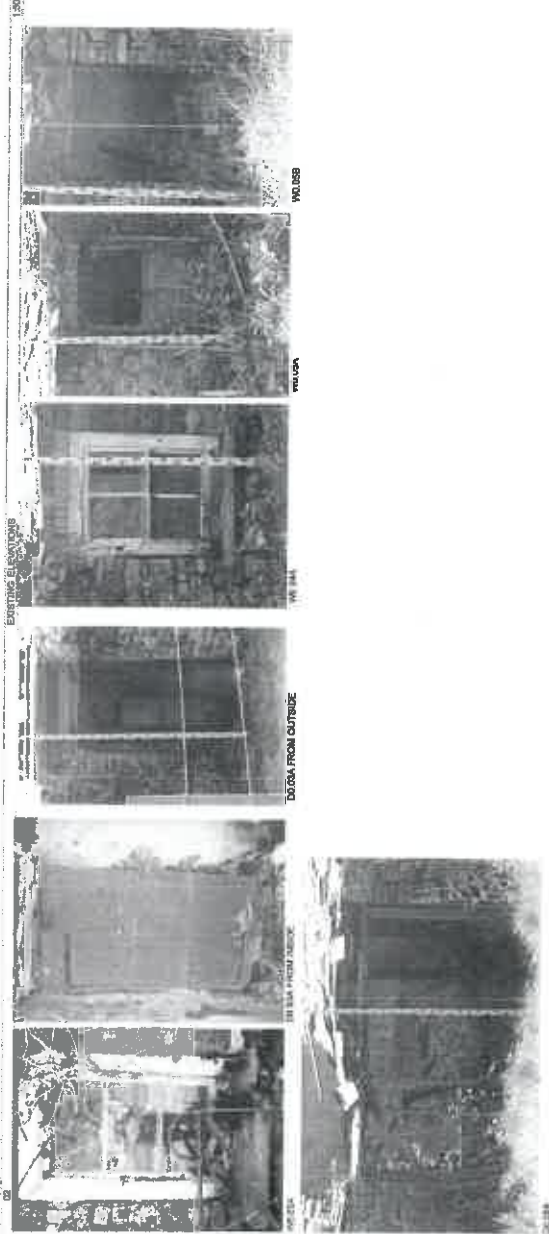
**BOTHY AND FORMER SHOPS.** Internal walls including ceiling and secondary walls not to be removed, repaired or reconstructed (over), but may require re-pointing where visible, within 1700. Two separate ground levels. Floor levels are to be confirmed by survey. The former shop is to be demolished. The existing chimney requires re-build from South elevation of both walls. Three lighting, surface mounted ceiling, 1 fixture inside within structure. Fixtures over asphalt falls level.



**EXISTING BUILDINGS**  
 ROOF: Roof joint to collapse, along with ceiling  
 CHIMNEY: WINDOW  
 STAIR: PUMP UNAVAILABLE FOR WELDRING ACCESS  
 SOME STEPS UNSUITABLE FOR WELDRING ACCESS  
 STLD WALL CONSTRUCTED ON TRUSS WITH 100MM CONCRETE



**NORTH ELEVATION** Existing primary concept in design. Redwood arches reveal structure. Other construction work and materials to be removed, concrete preparation and repair on both supports, roof supports, ground drainage needs investigation.



NOTES ADDED 16/11/16  
 CLOSURE MARKED 15/11/16  
 REVISED DRAWING 07/18  
 TITLE AMENDED 20/16  
 A - NUMBER CHANGED FROM 201  
 B - NUMBER CHANGED FROM 201  
 C - NUMBER CHANGED FROM 201  
 D - NUMBER CHANGED FROM 201  
 E - NUMBER CHANGED FROM 201

ROGER CABREY ASSOCIATES  
 SHAUN KIMSEY  
 NF 16 6 29

WATERMARK LANE  
 THE GREEN  
 PIMLICO  
 WALSLEY AND  
 WALSLEY  
 WALSLEY  
 WALSLEY

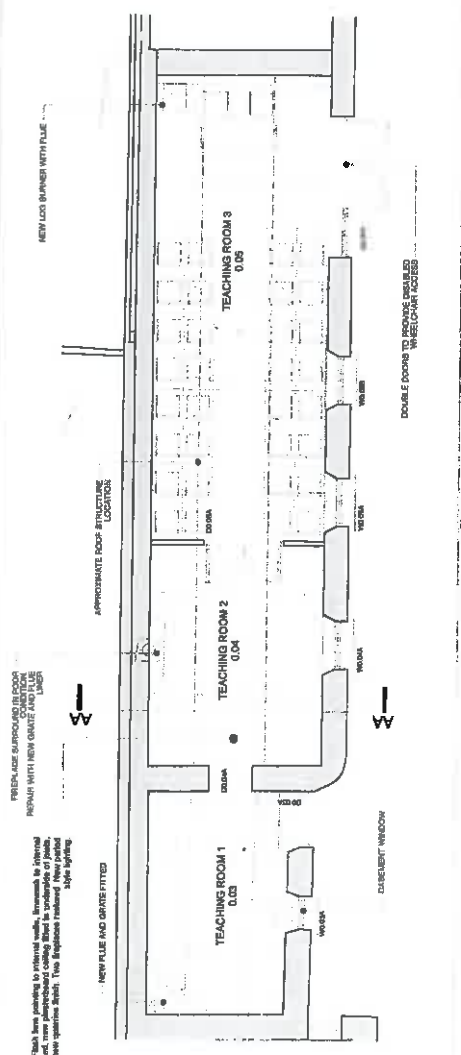
28 MAY 2016

THE PICTON CASTLE TRUST

PICTON CASTLE WALLED GARDEN

BOTHY AND FORMER SHOP

1:50 SURVEY  
 A2090 S-101 E  
 08/05/2016



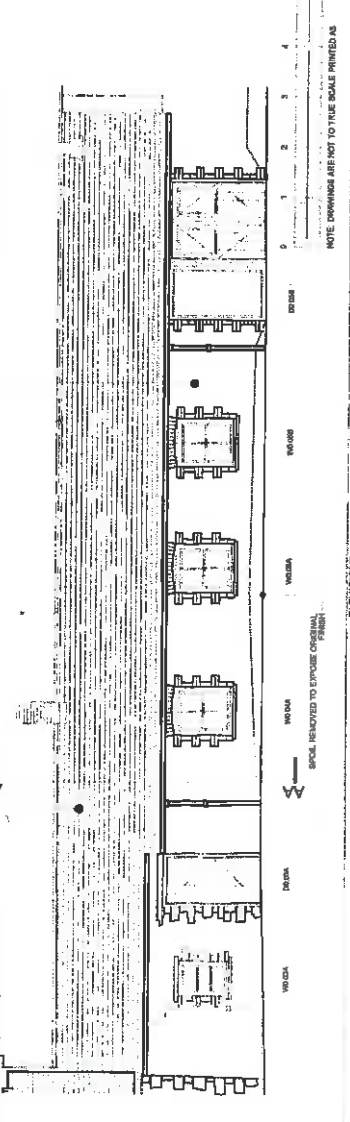
PLAN

ROOF: Girts slope aligned, joists salvaged, trim breakeable usability, new rafters and sheek re-laid. Concrete base gray and hand cover black. (Roofwater gauge) (light blue). Seal flat. Chimney re-tilt on slope with insulation. Sills replaced with T-tenons.

DOORS: ALL DOORS: Re-tilt back in. Use with brass hand studs, with and provided replaced with wheelchair access.

TIMBER PARTITION: Rebuild timber wall with near flat and fish repaired. Unravel fish.

TIMBER PARTITION: Lower level plasterboard repairs and new doors.



ELEVATIONS

DOORS: REPAIR TO EXPOSE ORIGINAL FINISH. SPILL RELIEVED TO EXPOSE ORIGINAL FINISH.

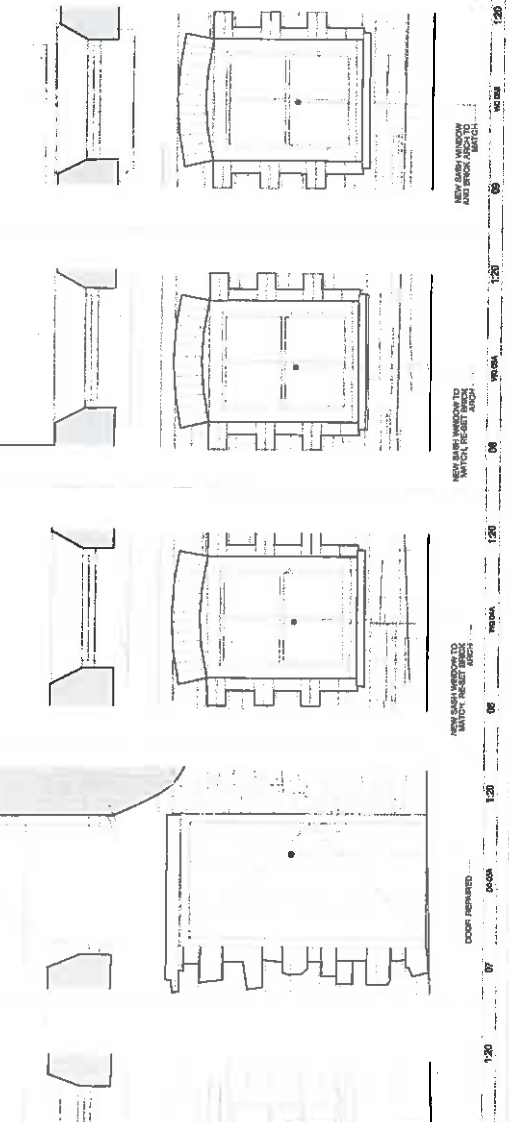
NEW CARBENET WINDOW WITH POLYURETHANE JOINT.

NEW CARBENET WINDOW WITH POLYURETHANE JOINT.

DOORS: REPAIR TO EXPOSE ORIGINAL FINISH. SPILL RELIEVED TO EXPOSE ORIGINAL FINISH.

NEW CARBENET WINDOW WITH POLYURETHANE JOINT.

SECTION A



NEW CARBENET WINDOW WITH POLYURETHANE JOINT.

**NOTES ADDED**  
 No. Date  
 Rev. Description Date Initial  
 Project:

**ROGER CASEY ASSOCIATES**  
 SHAWN KIMSEY  
 161 BRIMLEY AVE  
 WILSONVILLE, VT 05361  
 TEL: 802-885-1111  
 FAX: 802-885-1112  
 www.rogercasey.com

**NP 16-6-29**

**THE PICTON CASTLE TRUST**  
 28 JULY 2016

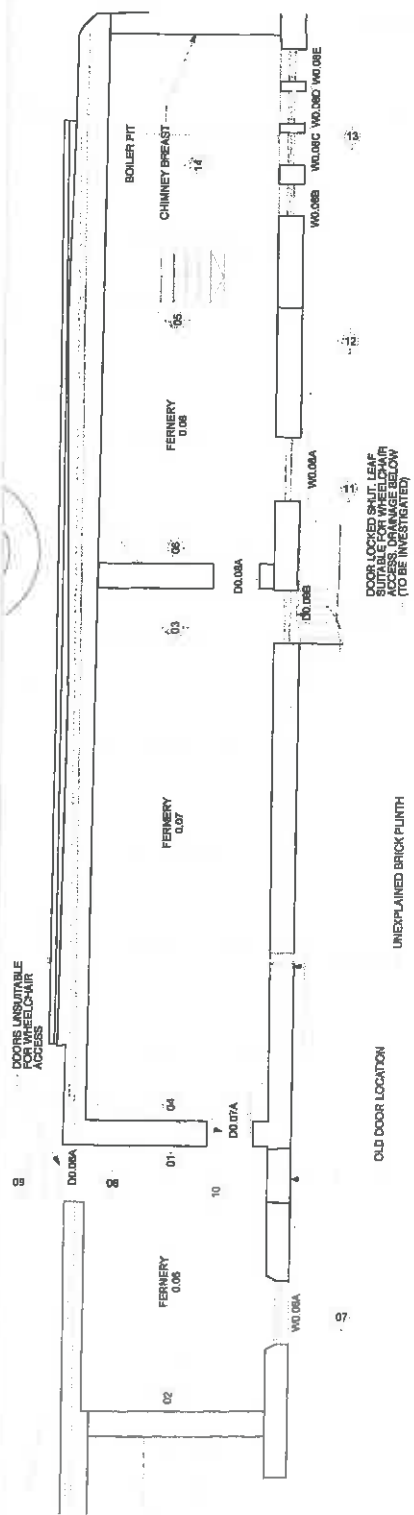
**BOTHY & FORMER SHOP**  
 PICTON CASTLE WALLED GARDEN  
 BOTHY & FORMER SHOP  
 PLANNING  
 A2080 P-101  
 1:50 A1  
 12/08/2018  
 MV

THE PICTON CASTLE TRUST  
 7 Local Grandchildren  
 PICTON CASTLE WALLED GARDEN  
 BOTHY & FORMER SHOP  
 PLANNING  
 A2080 P-101  
 1:50 A1  
 12/08/2018  
 MV

NEW CARBENET WINDOW WITH POLYURETHANE JOINT.  
 NEW CARBENET WINDOW WITH POLYURETHANE JOINT.  
 DOORS: REPAIR TO EXPOSE ORIGINAL FINISH. SPILL RELIEVED TO EXPOSE ORIGINAL FINISH.  
 NEW CARBENET WINDOW WITH POLYURETHANE JOINT.



VIEW 11: W/O.08



01

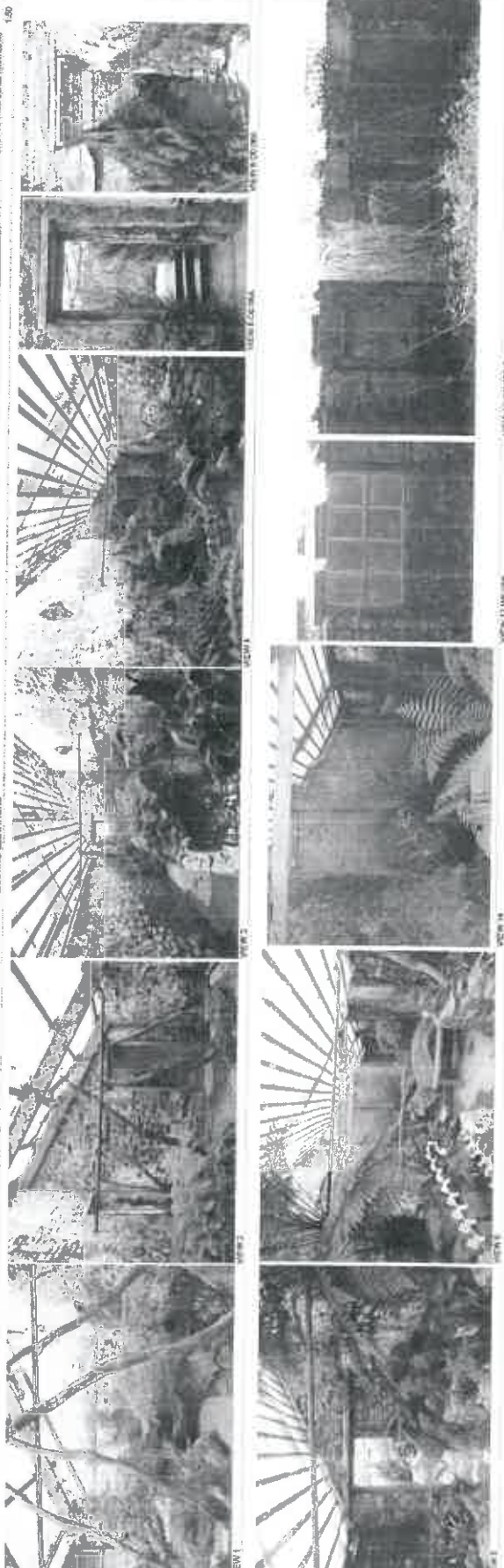
EXISTING BUILDINGS

02

EXISTING BUILDINGS

FERNERY: Having apparatus for glass houses believed Thomas Mueseler, 1830. Note clear composite panels (believe to consist of silica powder particulate) which return to by fire, no wall panel, no evidence of any panels, no apparent glazing, N

NORTH ELEVATION: random rubble masonry with brick reveals, probably a pier, W/O.08A with masonry, 14' high x 20' x 24" x 24" of corrugated poly. wall panel for roof, not being supported by D0.08A, no leaf, frame repetitive, metal leaf raised but not raised, exterior leaf missing. Leaf and panel made of brick. Facing to north with points at + x. (frames correct as made, for timber, irregular cover indicated, no lighting, some former walling



03

EXISTING BUILDINGS

04

EXISTING BUILDINGS

05

EXISTING BUILDINGS

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EXISTING BUILDINGS

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EXISTING BUILDINGS

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EXISTING BUILDINGS

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EXISTING BUILDINGS

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EXISTING BUILDINGS

11

EXISTING BUILDINGS

12

EXISTING BUILDINGS

13

EXISTING BUILDINGS

14

EXISTING BUILDINGS

NOTE: COMMENTS ARE NOT TO YOUR SCALE PRINTING AS

ROGER CASEY ASSOCIATES  
SHAUN KIMSEY  
NP 16 6 2 9

THE PICTON CASTLE TRUST  
78 409 305

PICTON CASTLE WALLED GARDEN  
FERNERY

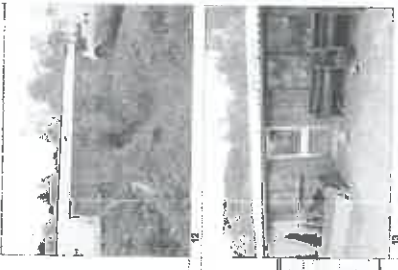
1:50 A1 SURVEY  
A2080 5-102 E

PROPOSED









E	NOTES ADDED	17/1/14
D	CLARIFIED REVISIONS	18/7/16
C	GENERALLY	5/7/16
B	REVISIONS	28/1/16
A	TITLE SHEET	28/1/16
	NUMBER CHANGED FROM 200	68/16
	DATE	10/11/16
	BY	SHM
	FOR	SHM
	DATE	10/11/16

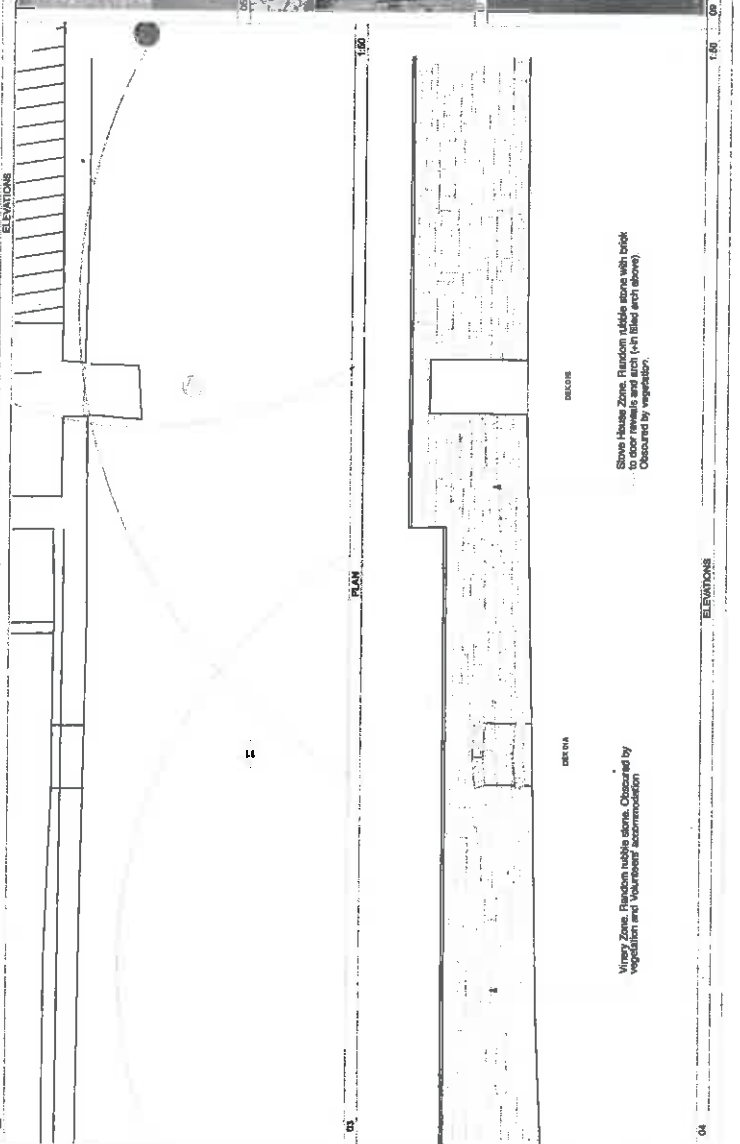
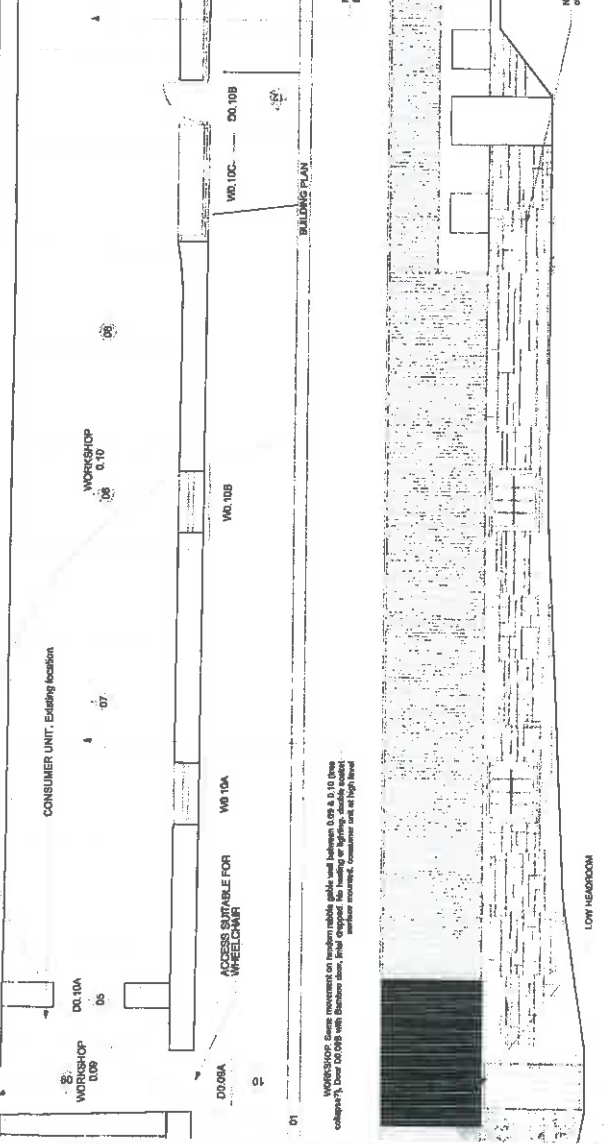
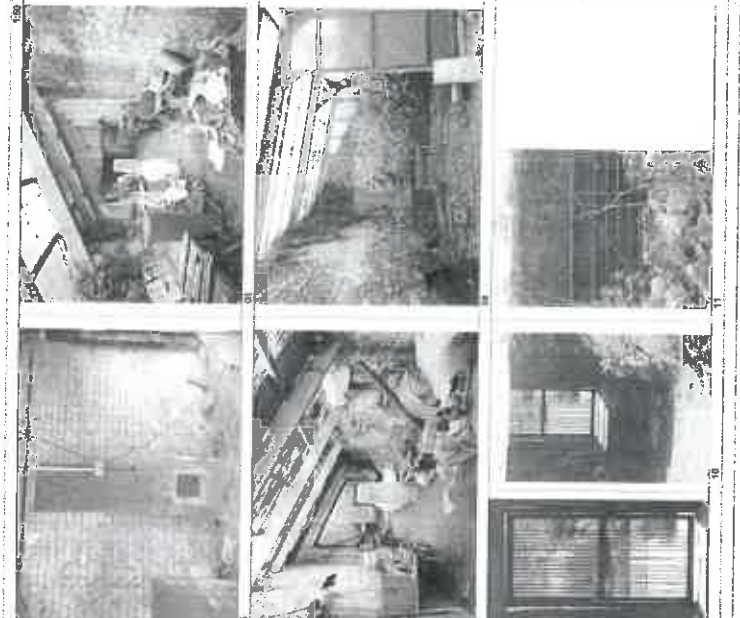
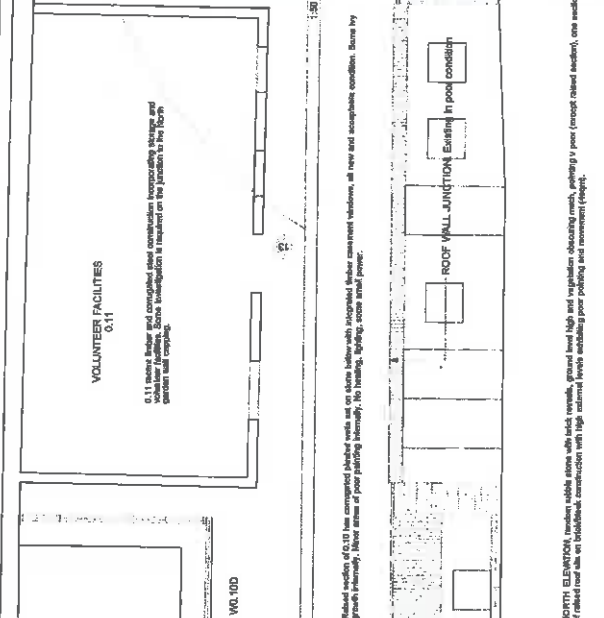
ROGER CABBY ASSOCIATES  
SHAUN KIMSEY  
16/16/2016

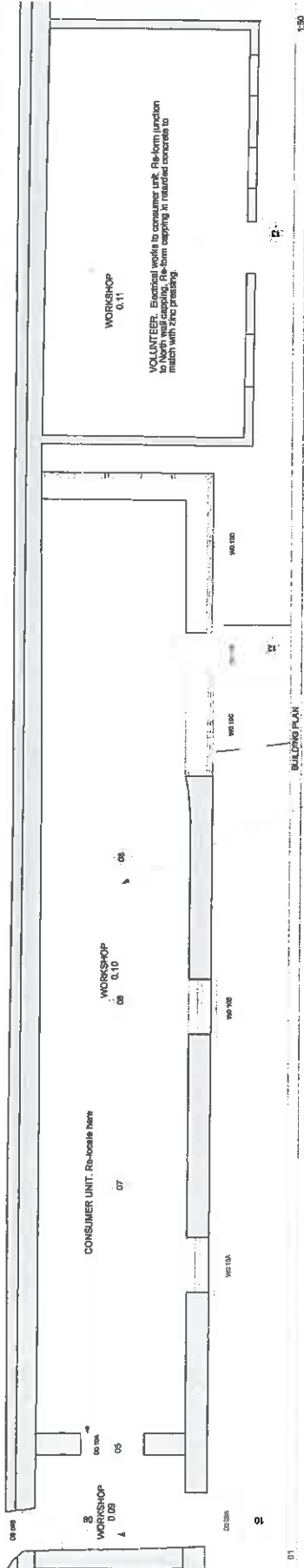
THE PICTON CASTLE TRUST  
24 NOT 200

THE GREEN  
PERRIN  
WALLER  
SHT 1/11  
16/16/2016

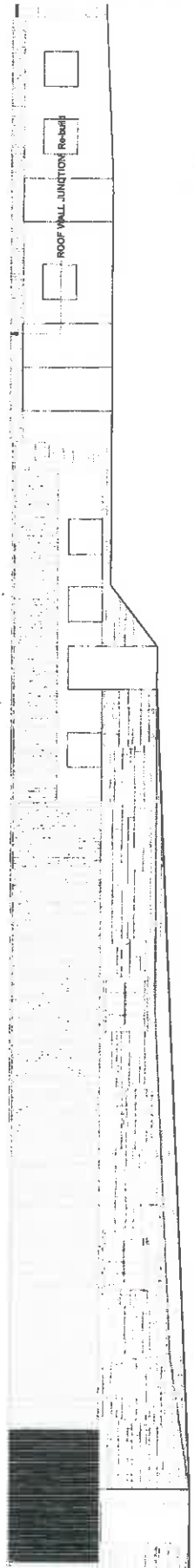
PICTON CASTLE WALLED GARDEN  
WORKSHOP

1:50 A1 SURVEY  
A2060 S-103  
JN 10/15/2016

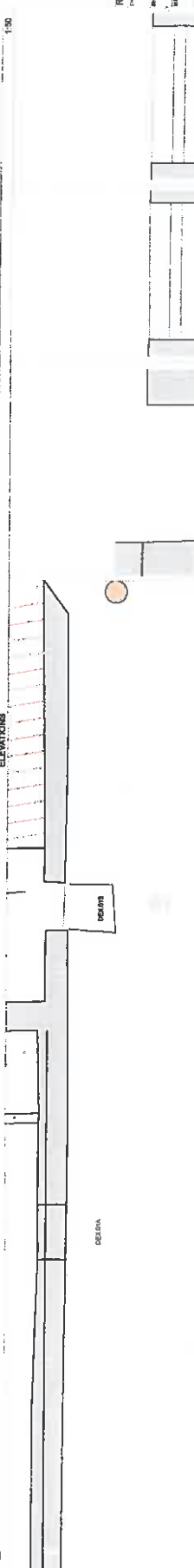




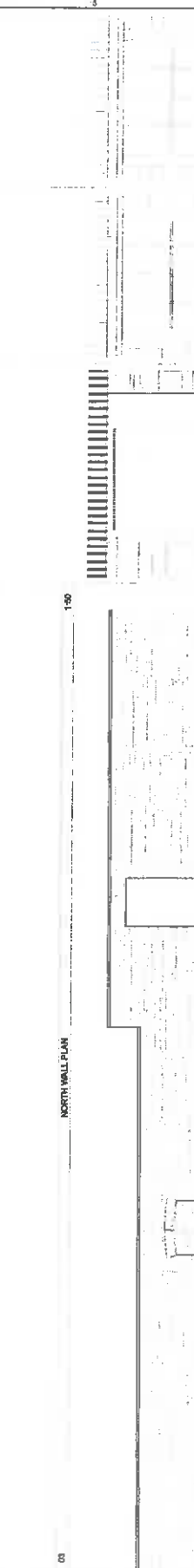
GARDEN LINK. Re-point externally in line, repairs to roofing.  
 WORKSHOP. Works to Distribution board and re-pointing in line externally. New rainwater goods in uPVC to new gully.



ELEVATIONS



ELEVATIONS



NORTH WALL PLAN



NORTH WALL ELEVATION

View Zone. Random rubble zone. Obscured by vegetation and 'tourist' accommodation.  
 Stone House Zone. Random rubble zone with brick to stone exterior. (See floor plan above). Obscured by vegetation.

Rev	Notes Added	Date	Initial
A	18/11/17		
B	27/06/18		

Project Name: **ROGER CASEY ASSOCIATES**  
 By: **SHAUN KINSEY**  
 Drawing Code: **NP 16 6 29**

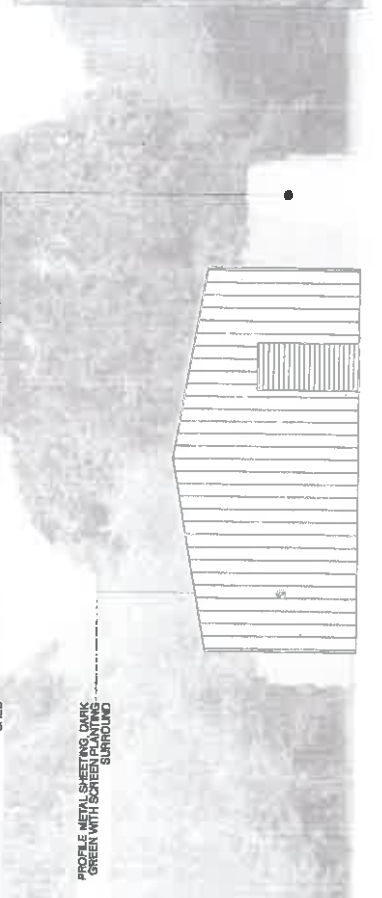
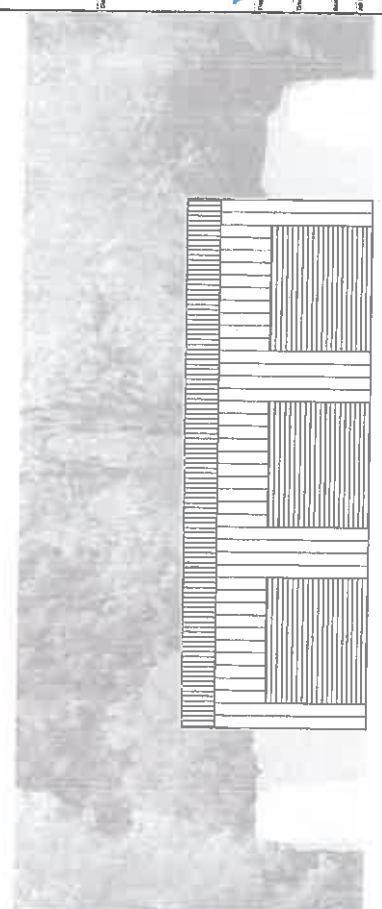
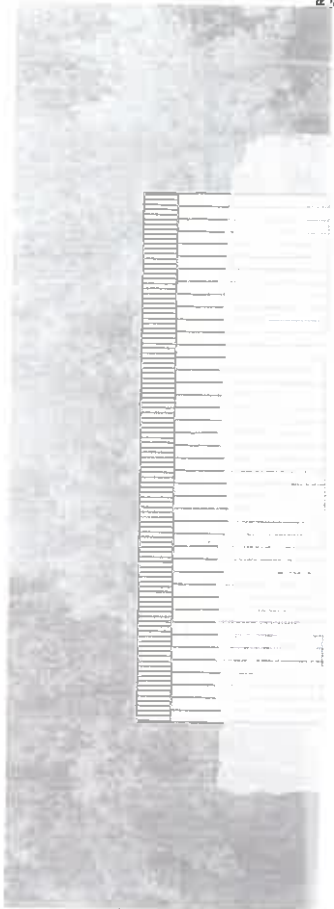
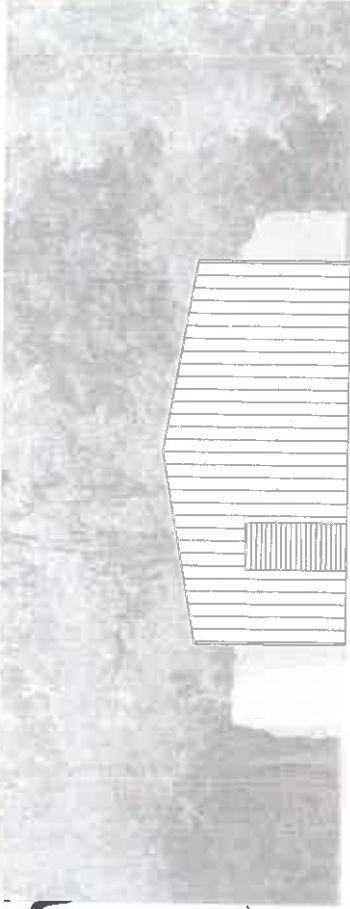
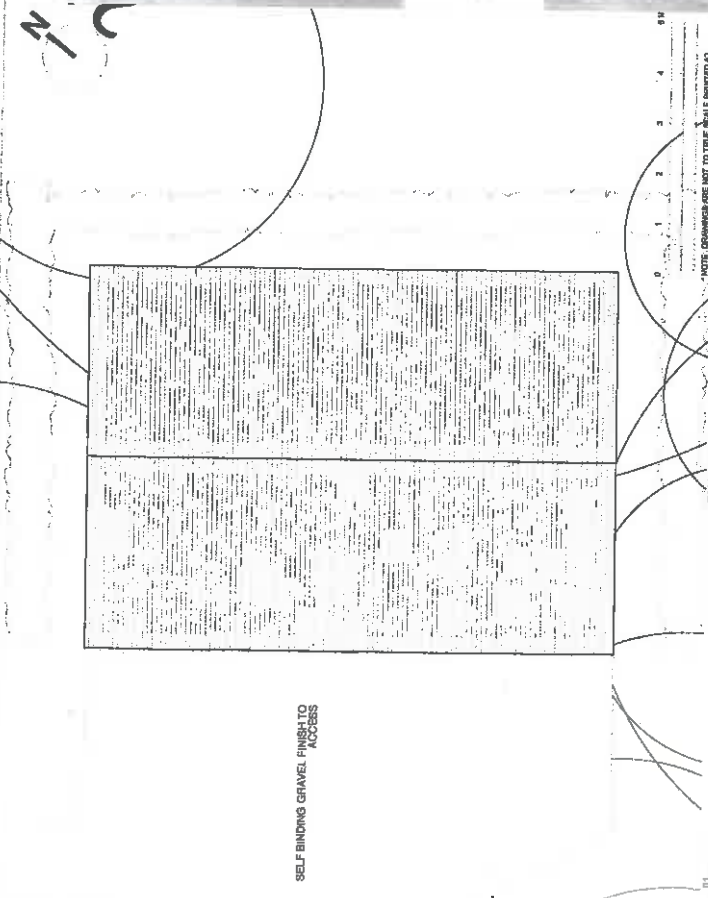
**WATSON'S LANE**  
 WESTON-SUPER-MARE  
 NORTH DEVONSHIRE  
 BA21 4JY  
 01392 822777  
 www.watsonscastle.co.uk

**THE PICTON CASTLE TRUST**  
 The National Lottery  
 Lottery Fundraising  
 PICTON CASTLE WALLED GARDEN WORKSHOP

Project No: **A2060**  
 Date: **12/08/2018**  
 Drawing No: **P-103**  
 Scale: **1:50**  
 Title: **PLANNING**

24 NOV 2018

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NOTES AND REVISIONS

Rev	Description	Date	Initial
A	ADD	26/1/17	
B	ADD	27/1/17	
C	ADD	27/1/17	
D	ADD	27/1/17	
E	ADD	27/1/17	
F	ADD	27/1/17	
G	ADD	27/1/17	
H	ADD	27/1/17	
I	ADD	27/1/17	
J	ADD	27/1/17	
K	ADD	27/1/17	
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S	ADD	27/1/17	
T	ADD	27/1/17	
U	ADD	27/1/17	
V	ADD	27/1/17	
W	ADD	27/1/17	
X	ADD	27/1/17	
Y	ADD	27/1/17	
Z	ADD	27/1/17	

ROGER CASEY ASSOCIATES  
SHAUN KIMSEY

NP 16 6 2 9

THE PICTON CASTLE TRUST

PICTON CASTLE WALLED GARDEN

TOOL SHED

PLANNING

A2060 P-106 B

12/08/2016

28 NOV 2016

THE NATIONAL LOTTERY

7 Year Guarantee

INTERMARK LANE  
THE GREEN  
MIDNORCH  
WILTONS TOWERS  
807 MK  
MK45 2JG

28 NOV 2016

THE PICTON CASTLE TRUST

PICTON CASTLE WALLED GARDEN

TOOL SHED

PLANNING

A2060 P-106 B

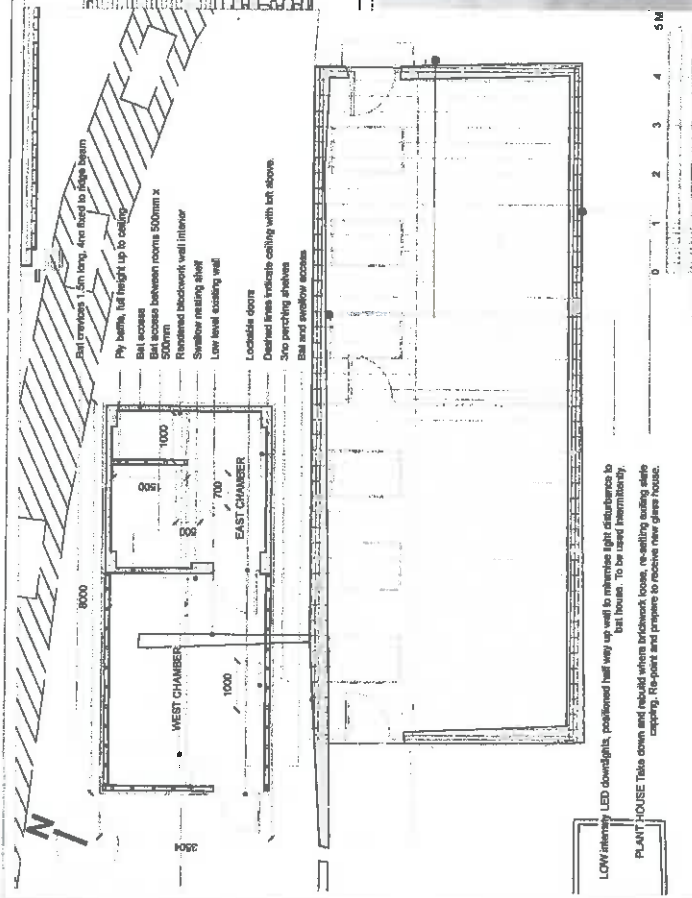
12/08/2016

28 NOV 2016

THE NATIONAL LOTTERY

7 Year Guarantee

INTERMARK LANE  
THE GREEN  
MIDNORCH  
WILTONS TOWERS  
807 MK  
MK45 2JG

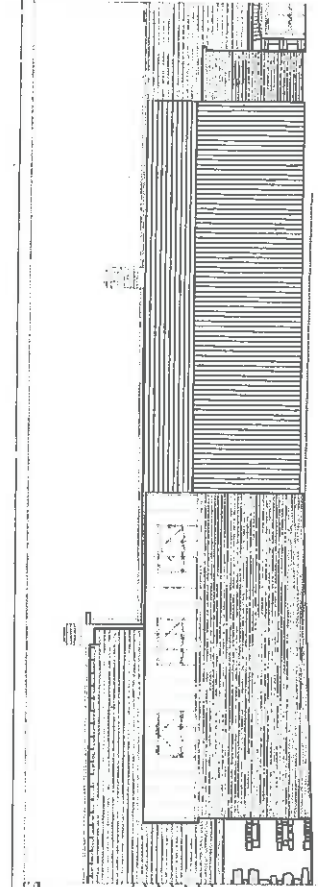


LOW intensity LED downlights, positioned half way up wall to minimise light disturbance to bat house. To be used intermittently.  
 PLANT HOUSE Take down and rebuild where brickwork loose, re-salling roofing shale capping. Re-point and prime to receive new glass house.

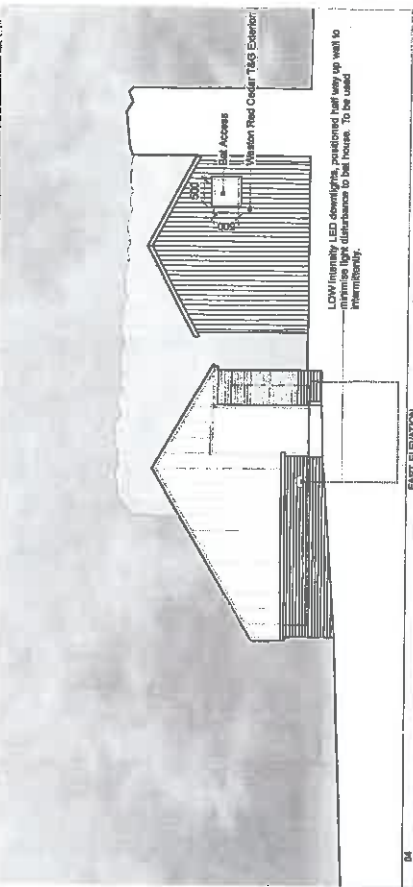
01 BAT HOUSE SOUTH SCALE PRINTED AS 1:50



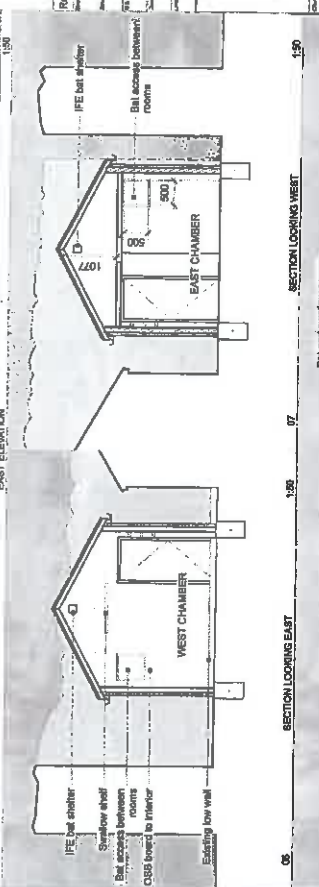
02 BAT HOUSE SOUTH ELEVATION SOUTH SCALE PRINTED AS 1:50



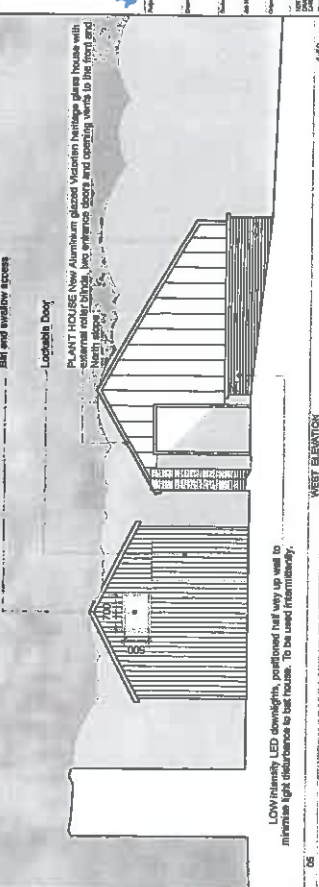
03 BAT HOUSE NORTH ELEVATION NORTH SCALE PRINTED AS 1:50



04 BAT HOUSE EAST ELEVATION EAST SCALE PRINTED AS 1:50



05 BAT HOUSE WEST ELEVATION WEST SCALE PRINTED AS 1:50



06 PLANT HOUSE SOUTH ELEVATION SOUTH SCALE PRINTED AS 1:50

Rev	Description	Date	Initial
1	ISSUED FOR PERMIT	28/1/11	
2	ISSUED FOR PERMIT	28/1/11	
3	ISSUED FOR PERMIT	28/1/11	
4	ISSUED FOR PERMIT	28/1/11	
5	ISSUED FOR PERMIT	28/1/11	
6	ISSUED FOR PERMIT	28/1/11	
7	ISSUED FOR PERMIT	28/1/11	
8	ISSUED FOR PERMIT	28/1/11	
9	ISSUED FOR PERMIT	28/1/11	
10	ISSUED FOR PERMIT	28/1/11	

WINTERBURN LANE  
 PERMITS  
 WALLINGBOROUGH  
 SA17 7NU  
 01243 812345  
 www.rogercasey.co.uk  
 info@rogercasey.co.uk

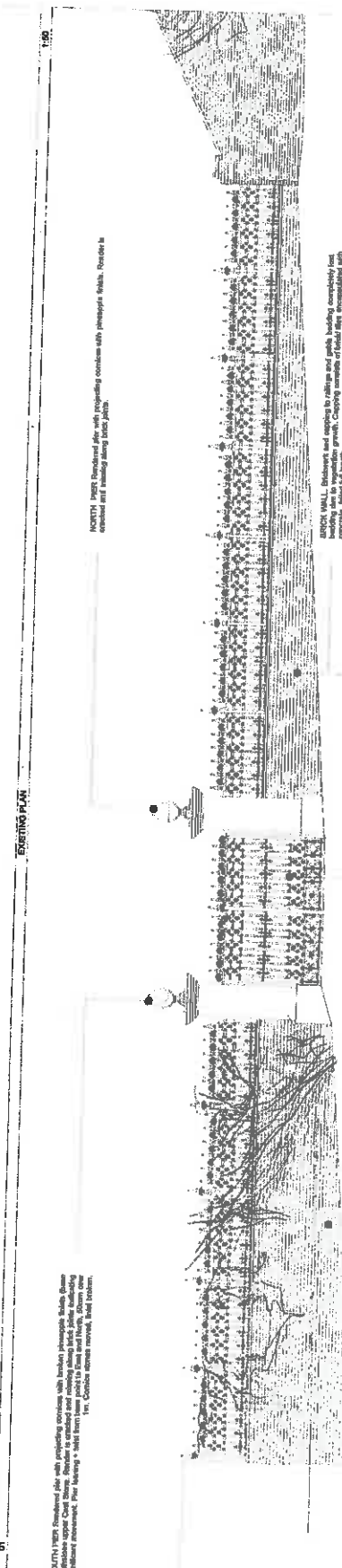
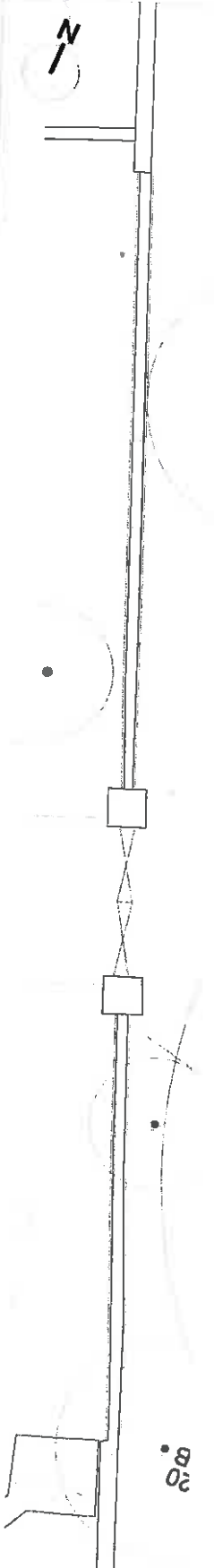
**ROGER CASEY ASSOCIATES**  
 SHAUN KIMSEY  
 Architect

**THE PICTON CASTLE TRUST**  
 The National Lottery  
 Lottery Communities  
 PICTON CASTLE WALLED GARDEN  
 STOVE HOUSE AND BAT HOUSE

Date: 1:50 A1 PLANNING  
 No: A2060 P-104  
 Rev: E  
 Date: 18/07/18

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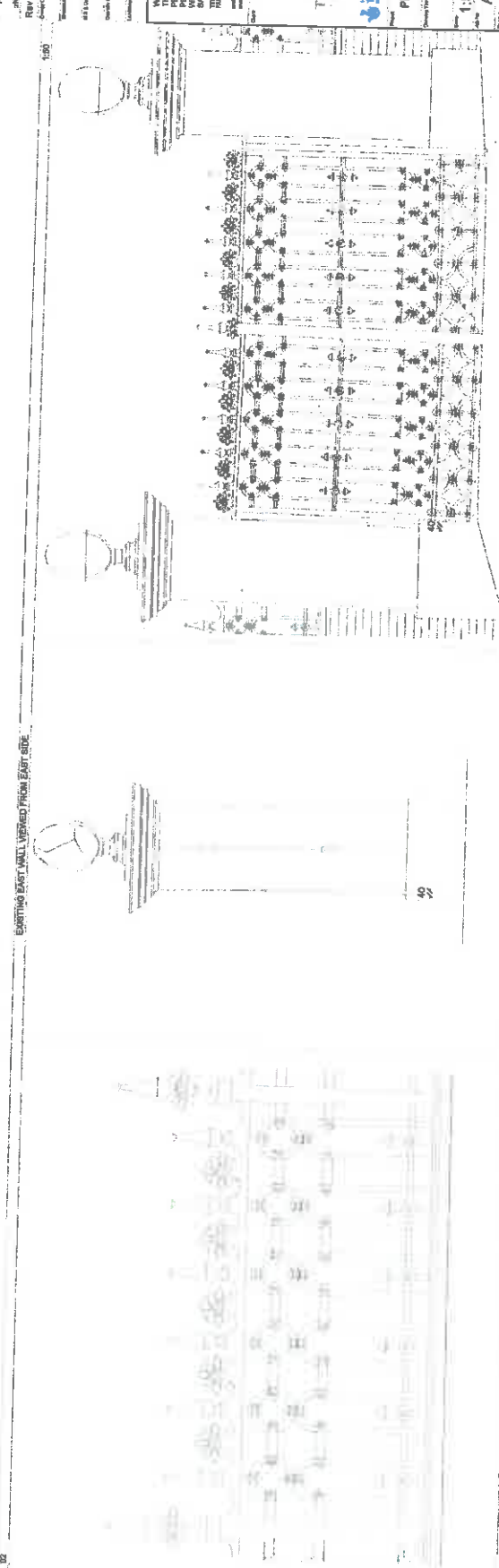
SOUTH PART SCHEDULED site with existing structure with birch plantation. Under Stone  
 Bannister upper level. Birch is shaded and existing stone structure is  
 highlighted. For birch - refer to tree plan to East and North. Show one  
 1:10. Colour scheme correct. Best option.

NORTH PART SCHEDULED site with existing structure with birch plantation. Under  
 stone and railing along side path.

BIRCH WALL. Endpoints and spacing to railing and wall. Existing structure not  
 including site to vegetation growth. Existing structure of field site. Inappropriate site  
 structure. Refer to page.

RAILINGS AND GATES. End line of birch plantation in most cases to a wall.  
 Protective surface. Height due to planting. Height due to planting.  
 (Note railing dimensions). Should access required for safety reasons. Gate width  
 consistent with height and foot measurements. Some annotations have missing from files.

WALL. Significant vegetation structure must of wall. Existing structure with  
 site. Existing birch. (Tree plan is missing. Refer to tree plan to East and North. Show one  
 1:10. Colour scheme correct. Best option.)



EXISTING EAST WALL VIEWED FROM EAST SIDE

EXISTING EAST WALL VIEWED FROM EAST SIDE

ROGER CASEY ASSOCIATES  
 SHAUN KIMSEY  
 NP 16 6 29  
 MATERIALS LANE  
 THE GREEN  
 PIMLICOHE  
 WALKER  
 2007 4TH  
 BRISTOL  
 TEL 01454 211111  
 WWW.ROGERCASEY.CO.UK

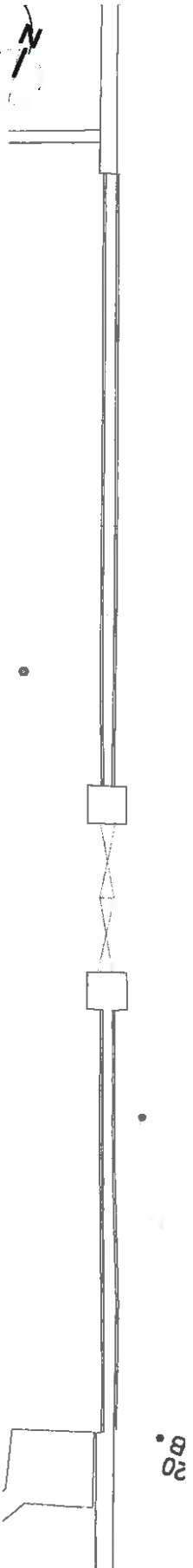
THE PICTON CASTLE TRUST  
 28 NOV 2018

PICTON CASTLE WALLED GARDEN  
 EAST ELEVATION RAILINGS

1:50 A1 SURVEY  
 A2060 S-105 C  
 JUN 08/06/2018

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01 SOUTH PART SECTION  
 02 SOUTH PART SECTION  
 03 CL RAILINGS  
 04 SOUTH PART SECTION  
 05 SOUTH PART SECTION  
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 120 SOUTH PART SECTION



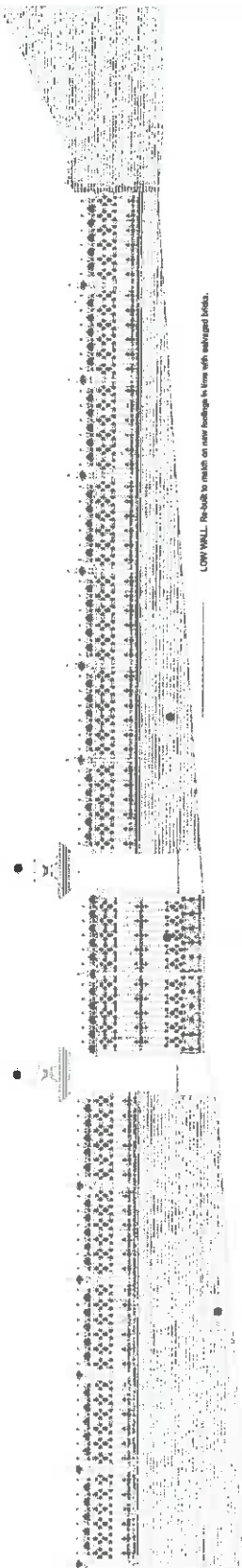
EXISTING PLAN

01

1:50

SOUTH PIER. Re-build with concrete core in line using salvaged bricks, existing concrete. Brick facing finish. New masonry work.

NORTH PIER. Hook off masonry, re-point if necessary and re-render in line.



LOW WALL. Re-build to match on new footings in line with salvaged bricks.

LOW WALL. Re-build to match on new footings in line with salvaged bricks.

RAILINGS AND GATES. Existing railing to be dismantled to factory. Gates shall comprise wrought iron and face masonry. There to have cast iron bollards centrally supporting the gates. Existing masonry to be re-pointed and new masonry to be in line with existing masonry.

EXISTING EAST WALL, VIEWED FROM EAST SIDE

02

1:50



CIRAILINGS

03

1:20

GATES & PILLARS BOWEN EXTERNALLY

Client Name	THE GREAT WESTERN PEMBROKE PORTOBISSA WALKERS BAPT CHURCH
Project Name	ROGER CASSEY ASSOCIATES SHAUN KIMSEY
Scale	NP 16 6 2 9
Project No.	24 NOV 2015
Client Logo	THE NATIONAL LEGACY Lower Capewall Bridge
Project Title	PICTON CASTLE WALLED GARDEN
Client Address	GATE PILLARS / CAST IRON SURVEY
Scale	1:50 1:25 A1
Project No.	A2060
Client Name	PLANNING
Project No.	P - 105
Client Name	12/08/2018
Project No.	12/08/2018
Client Name	MV
Project No.	12/08/2018
Client Name	12/08/2018
Project No.	12/08/2018