

**Application Ref: NP/17/0734/FUL**

<b>Case Officer</b>	Rob Scourfield		
<b>Applicant</b>	Mr J Rossiter		
<b>Agent</b>	Mr D Morgan, David Morgan Architect		
<b>Proposal</b>	Installation of escape doors to existing stairwell landing; replacement of modern windows with sash windows		
<b>Site Location</b>	Hope & Anchor, St Julians Street, Tenby, Pembrokeshire, SA70 7AX		
<b>Grid Ref</b>	SN13620038		
<b>Date Valid</b>	18-Dec-2017	<b>Target Date</b>	11-Feb-2018

This application is before Members of the Development Management Committee, because the owner of the building is a member of the authority

**Consultee Response**

**Tenby Civic Society Chairman:** Supporting

**Tenby Town Council:** Conditional Consent

**Public Response**

The application has been appropriately advertised, and no responses have been received at the time of this report.

**Policies considered**

Please note that these policies can be viewed on the Policies page Pembrokeshire Coast National Park website -

<http://www.pembrokeshirecoast.org.uk/default.asp?PID=549>

LDP Policy 01 - National Park Purposes and Duty

LDP Policy 08 - Special Qualities

LDP Policy 11 - Protection of Biodiversity

LDP Policy 15 - Conservation of the Pembrokeshire Coast National Park

LDP Policy 29 - Sustainable Design

LDP Policy 30 - Amenity

PPW9 Chapter 04 - Planning for Sustainability

SPG05 - Sustainable Design

TAN 05 - Nature Conservation and Planning

TAN 12 - Design

TAN 24 - The Historic Environment

**Constraints**

Special Area of Conservation - within 500m

LDP Designation  
LDP Centre:60pc aff housing;30 units/ha  
Recreation Character Areas  
Article\_4\_Directions  
Landscape Character Assessment  
Seascape Character Assessment

### **Officer's Appraisal**

#### **Background**

The Hope and Anchor is a Grade II listed public house, located on the east side of St Julian's Street. It is an early C19 three-storey building with roughcast elevations. The first floor has canted bay windows; Georgian paned sashes above. The ground floor windows and entrance were altered in the mid C20, and extensions/upgrading carried out in 2016.

Planning permission is sought for the replacement of modern fenestration with sash windows, and the installation of escape doors to the stairwell landing.

The proposed scheme is considered to be in keeping with the character of the listed building, and its setting in terms of design and form. As such, the application can be supported subject to conditions

A consideration of the works comprised within the scheme requiring listed building consent is contained within the accompanying listed building application (NP/17/0735).

#### **Relevant Planning History**

NP/187/89 – Change of use to three self-contained flats. Listed building consent granted 23/04/89

NP/195/89 – Change of use to licensed premises and three self-contained flats. Planning permission consent granted 23/04/89

NP/09/0142 – Removal of existing decking and balustrading and replacement with heritage paving, rendered wall and railing enclosure. Planning permission approved 27/05/09.

NP/11/155 – Remove existing gravel and brick walling in beer garden and replace with heritage paving and rendered wall and railing enclosure. Planning permission approved 27/07/11.

NP/11/156 – Remove existing gravel and brick walling in beer garden and replace with heritage paving and rendered wall and railing enclosure. Listed building consent granted 15/08/11

NP/11/0391 – Fixing of new mechanical vent extract unit to serve kitchen area. Planning permission approved 21/11/11

NP/11/0392 - Fixing of new mechanical vent extract unit to serve kitchen area. Listed building consent granted 21/11/11

NP/15/0648 - Demolition of existing modern rear kitchen and extensions, and replacement with new kitchen, toilets and staircase arrangement on ground and first floor. Planning permission granted 5/01/16

NP/15/0647 – Internal alterations to listed building, demolition of existing modern rear kitchen and extensions, and replacement with new kitchen, toilets and staircase arrangement on ground and first floor. Listed building consent granted 5/01/16

NP/16/0062 - Alterations to listed building approval NP/15/0647 to install new windows, door & fire escape on pine end. Listed building consent granted 9/03/16

NP/16/0077 - Replacement of original proposals for fire escape with new proposals incorporating a spiral stair set against the indent in pine end wall of existing building, painted to match the pine end & with new fire exit door in pine end at first floor level at top of stairs. Also 2 new windows in pine end at first & second floor levels to match the ground floor window approved in original application NP/15/0648. Planning permission granted 9/03/16

### **Current Proposal**

The proposal comprises:-

- Replacement of modern fenestration with sash windows to the flats. Modern windows (4 no to west elevation, 1 each to attic gable end) are to be replaced with traditional timber painted sashes, eight-paned and four-paned respectively within the existing openings. These reflect the original style and pattern of fenestration.
- Installation of escape doors to existing rear stairwell landing. The proposed escape doors (to the rear elevation) are of timber construction with inset lights

### **Key Issues**

The application raises the following planning matters:-

- Siting and sustainable design
- Amenity and privacy
- Protected species
- Listed buildings

#### Siting and Sustainable Design

The scale and design of the proposal is considered to be sympathetic to the character and appearance of the conservation area. The proposal will result in an improvement to the side and rear elevations of the property.

## Amenity and Privacy

The proposal does not affect the existing amenity of the property, or neighbouring properties, the new fenestration all within existing openings. The proposed escape doors exit to the rear and are to be used as emergency fire escape only, conditioned as such.

As such, there are no concerns about amenity and privacy.

## Listed Buildings

The scale and design of the proposal is considered to be sympathetic to the character and appearance of the listed building pay special regard to its setting (s. 66 planning (listed buildings and conservation areas) act 1990

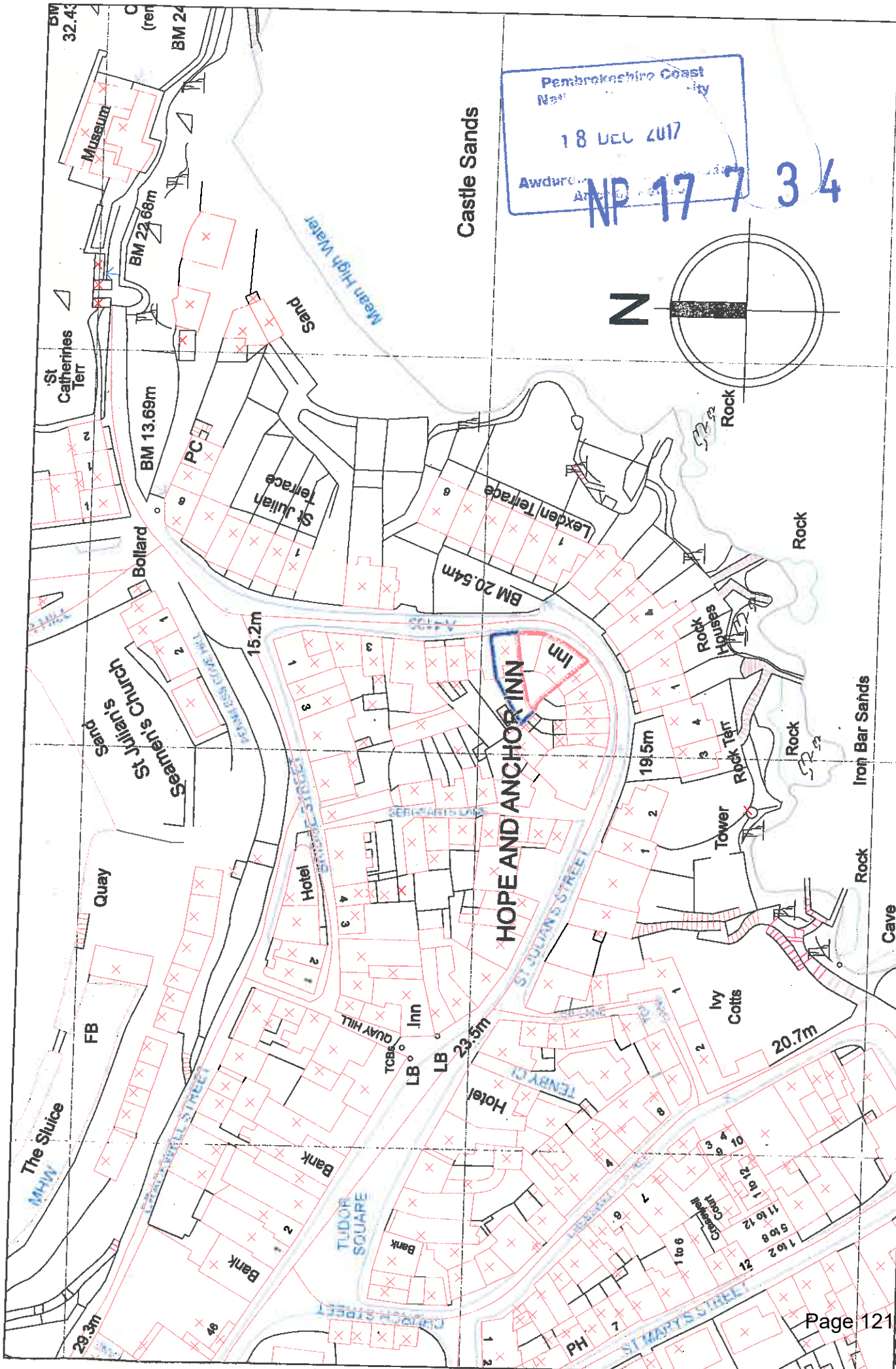
## **Conclusion**

The proposal is considered to be appropriate in terms of size, scale and detail. As such, the application can be supported subject to conditions

## **Recommendation**

That planning permission be consent be granted subject to the following conditions:

1. The development shall begin not later than five years from the date of this decision.  
**Reason:** Required to be imposed pursuant to Section 91 (1) of the Town and Country Planning Act 1990 (as amended).
2. The development shall be carried out in accordance with the following approved drawing nos:- 1733/REGS/01, 1733/REGS/02, 1733/REGS/03, 1733/REGS/04, 1733/REGS/05, 1733/REGS/06, 1733/REGS/07 received on 18th December 2017.  
**Reason:** In order to be clear on the approved scheme of development in the interests of protecting visual amenity and the special qualities of the National Park. Policy: Local Development Plan – Policies 1 (National Park Purposes and Duty), 8 (Special Qualities), 15 (Conservation of the Pembrokeshire Coast National Park) and 29 (Sustainable Design).
3. The use of the proposed escape doors and associated external space is to be restricted to emergency access only.  
**Reason:** To protect public health and the local amenity (LDP Policy 30: Amenity)



**LOCATION PLAN**

Proposed alterations to  
**Hope and Anchor Inn**  
 St Julian's Street, Tenby.

date  
 Nov 2015  
 scale  
 1:1250@A4

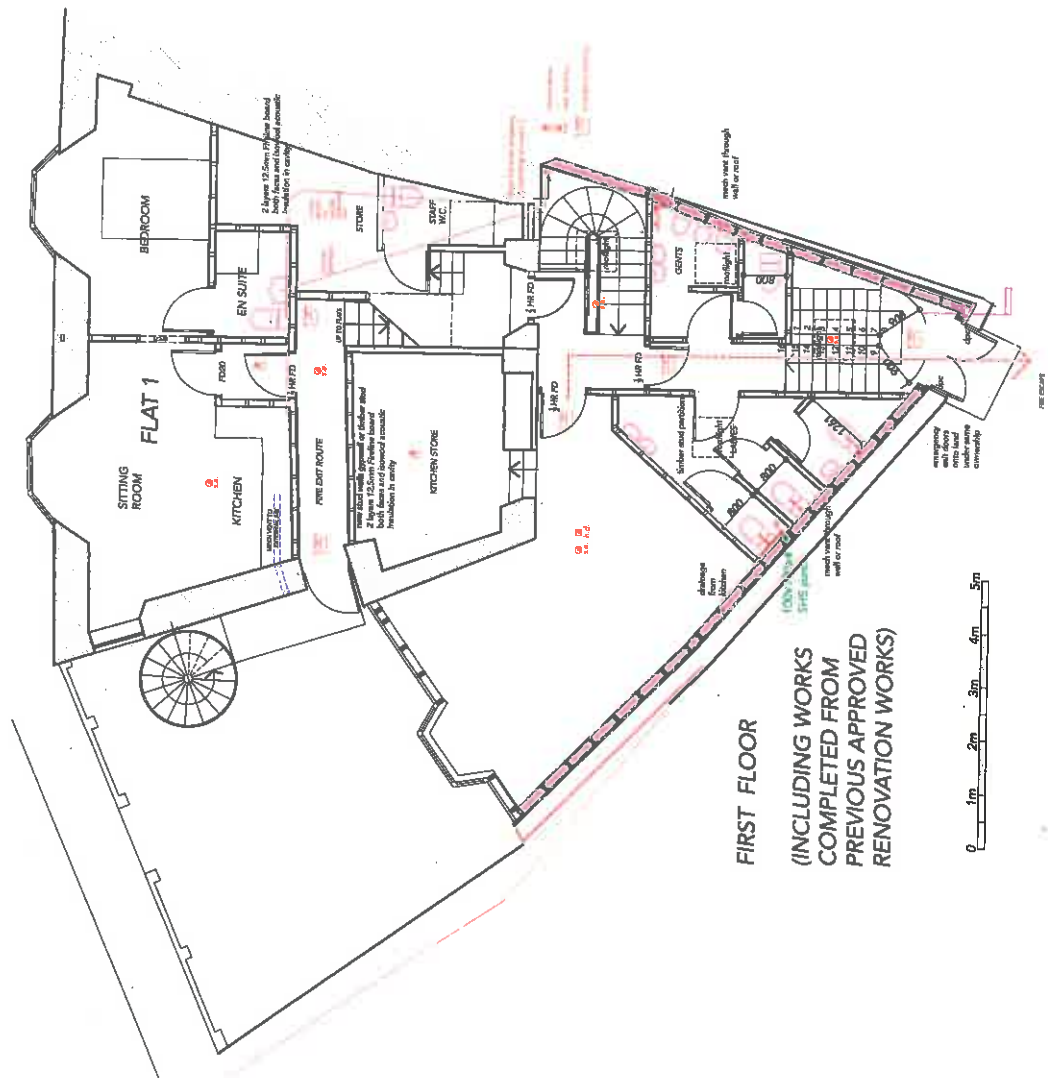
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 Specification. Architect to be notified of any  
 discrepancies between drawings and  
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 drawings.

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 Tel 01834 218271  
 email david@highseasgallery.com



NP 17 7 34

Permitted Development Certificate  
18 DEC 2017  
01418



FIRST FLOOR  
(INCLUDING WORKS  
COMPLETED FROM  
PREVIOUS APPROVED  
RENOVATION WORKS)

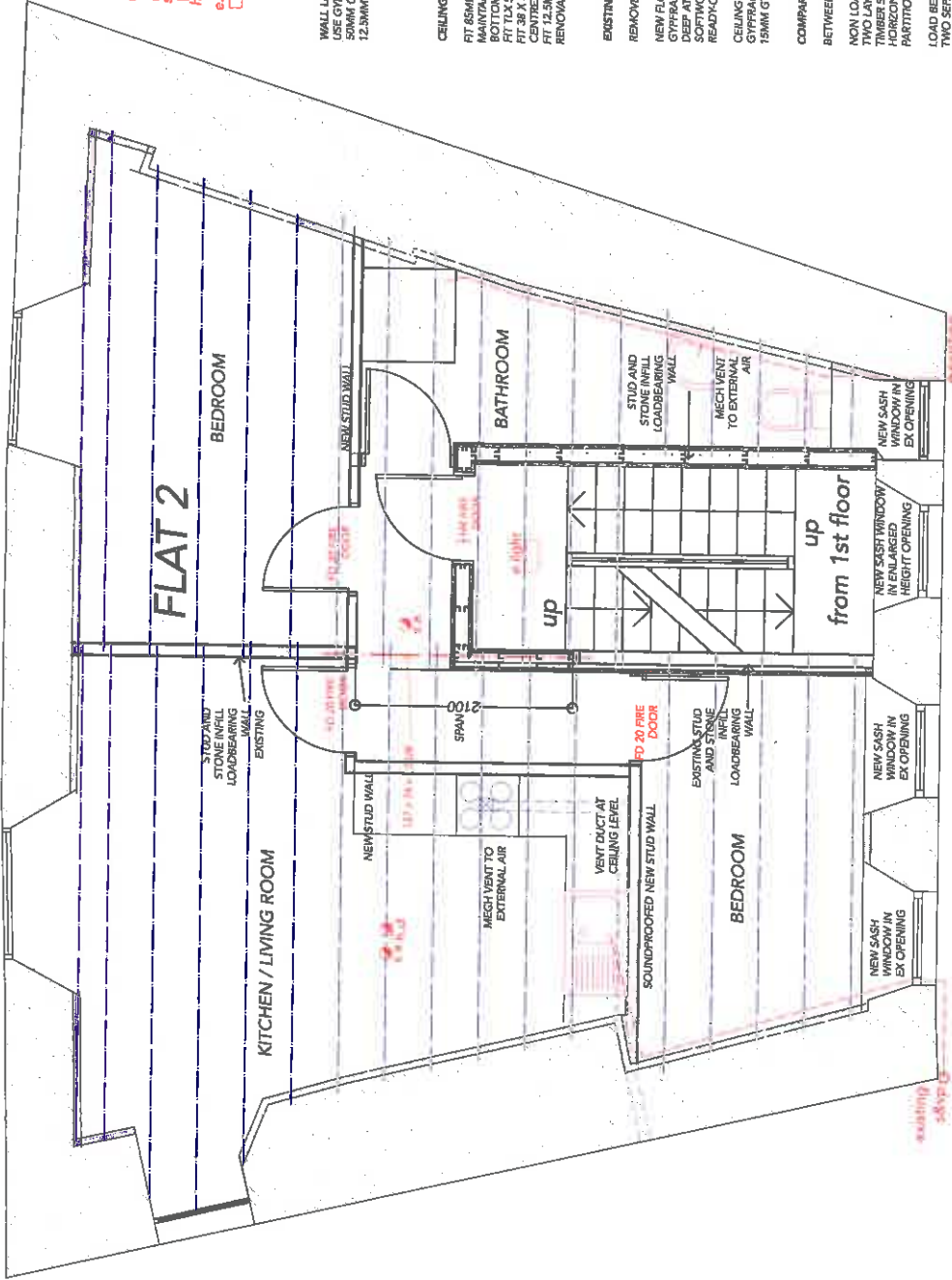


drwg No 1733/REGS/01	date NOV 2017 drawing title FIRST FLOOR (WITH PREVIOUS REFURBISHMENT)	project HOPE AND ANCHOR FLATS RENOVATION	David J P Morgan BSc BArch RIBA County Chambers, Warren Street, TENBY SA70 7J5 tel 01834 218271 (m) 07875298005 email david@davidmorgan.com
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18 DEC 2017

NP 17 7 34

- CM carbon monoxide detector
- SA smoke alarm
- h.d. heat detector
- e.light emergency lighting



COMPARTMENT WALL TO STAIRCASE -  
TWO STAGGERED TIMBER FRAMES, CONSISTING OF  
89MM X 38MM TIMBER STUDS AT 600MM CENTRES  
WITH INTERLEAVED TWO LAYERS OF 15MM  
SOUNDLOC BOARD AND 100MM SOVER  
SPACESAVER READY-CUT BETWEEN THE STUDS ON  
ONE SIDE. LININGS AS IN TABLE  
OR USE  
\*GYPROC QUIET\* SEPARATING WALL SYSTEM WITH  
METAL STUDS AS MANUFACTURER'S SPEC.

## SECOND FLOOR

- WALL LINING:**  
USE GYPLINER METAL STUD SYSTEM TO LINE EXISTING PLASTERED STONE WALLS  
50MM CELOTEX FR6000 BETWEEN STUDS WITH JOINTS TAPE AS VCL  
12.5MM WALL BOARD ON FACE OF STUDWORK
- CEILING TO OPEN ROOF:**  
FIT 85MM RIB RIGID BOARD CLOSELY BETWEEN RAFTERS,  
MAINTAINING A 25MM UNDOUBTED GAP WITH BETWEEN THE  
BOTTOM OF THE RAFTER AND RIB BOARD.  
FIT TLX SILVER PAULT ACROSS THE BOTTOM OF THE RAFTERS  
CENTRES  
FIT 38 X 38MM CROSS BATTENS ACROSS THE RAFTERS @ 400MM  
CENTRES  
FIT 12.5MM GYPROC RIBLINE BOARD.  
RENOVATED ROOF U = 0.18 W/M2.K
- EXISTING FLOORS**  
REMOVE EXISTING BOARDS, CLEAN OUT DEBRIS IN FLOOR VOID.
- NEW FLOOR - GYFLOOR SILENT COMPRISING 19MM GYPROC PLANK ON  
GYPPHANE SIF FLOOR CHANNEL LOCATED OVER TIMBER JOISTS (MINIMUM 195MM  
DEEP AT 600MM / 600MM CENTRES), WALKING SURFACE OF CHIPBOARD OR  
SOUNDLOC BOARD (MINIMUM 12MM MINIMUM), 100MM SOVER SPACESAVER  
READY-CUT IN THE CAVITY.**
- CEILING BELOW FLOOR:**  
GYPPHANE RIB RESILIENT BARS FIXED AT 400MM CENTRES. CEILING LINING 2 LAYERS  
15MM GYPROC SOUNDBLOCK.
- COMPARTMENT WALLS**  
BETWEEN STAIRCASE ENCLOSURE AND FLATS.
- NON LOAD BEARING:**  
TWO LAYERS 15MM GYPROC SOUNDLOC BOARD EACH SIDE OF 75MM X 38MM  
TIMBER STUDS AT 600MM CENTRES. 100MM SOVER RIB RESILIENT BARS FIXED  
HORIZONTALLY TO BOTH SIDES AT 600MM CENTRES. 50MM SOVER ACOUSTIC  
PARTITION ROLL (APR 1200) IN THE CAVITY.
- LOAD BEARING (UNDER STAIRCASE TRIMMERS):**  
TWO SEPARATE TIMBER FRAMES SPACED 50MM APART, CONSISTING OF 89MM X 38MM  
TIMBER STUDS AT 600MM CENTRES WITH NOGGINGS. TWO LAYERS OF 15MM  
SOUNDLOC BOARD EACH SIDE. 100MM SOVER SPACESAVER READY-CUT BETWEEN  
THE STUDS ON ONE SIDE.

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Architect to be notified of any discrepancies between  
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Planning Authority only, to scale from drawing.

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project  
HOPE AND ANCHOR FLATS RENOVATION

date NOV 2017 drawing title  
SECOND FLOOR PLAN  
PROPOSED

drwg No  
1733/REGS/02  
scale 1:50@A3



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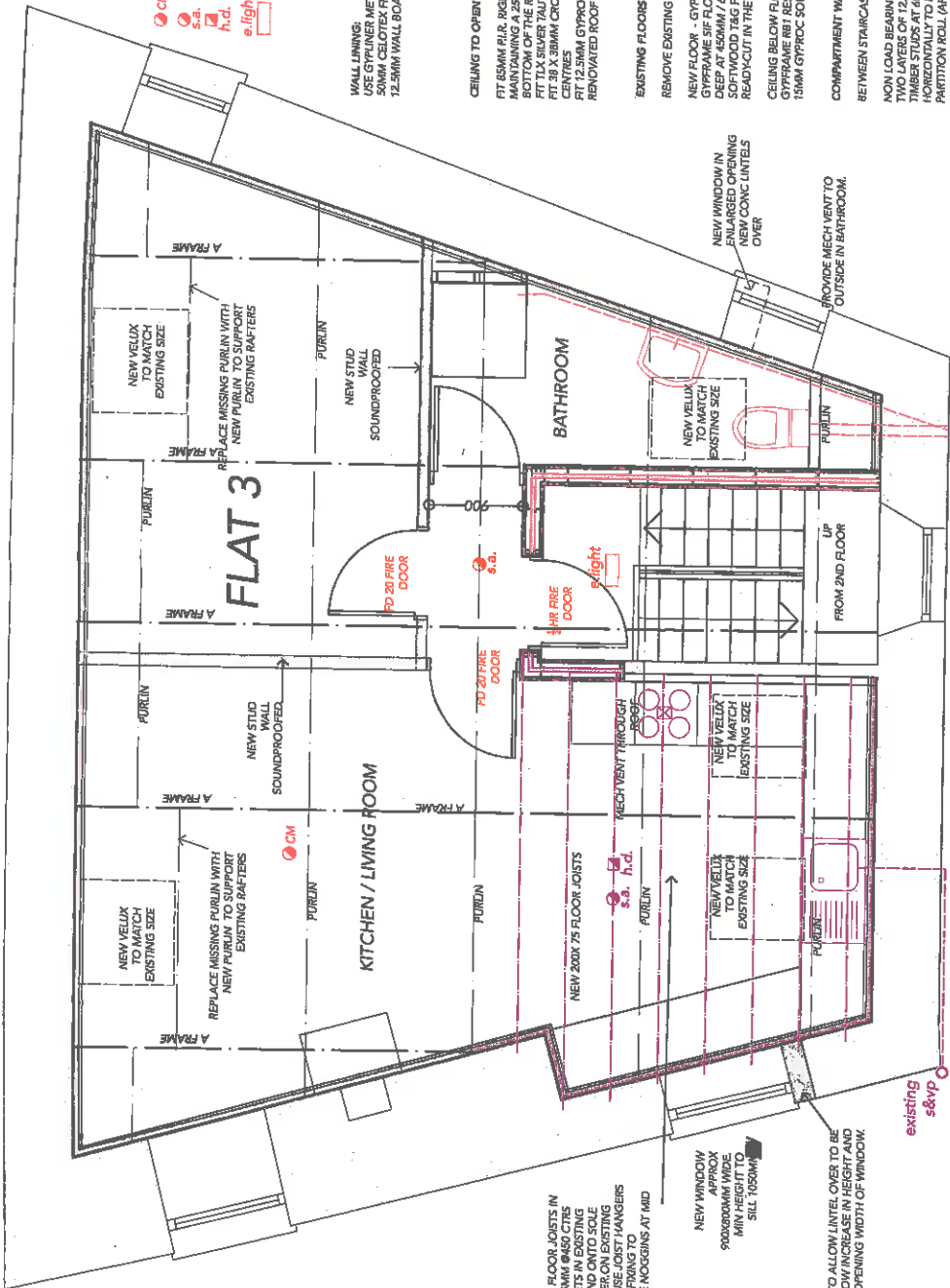
project  
**HOPE AND ANCHOR FLATS RENOVATION**

date NOV 2017 drawing title  
**THIRD FLOOR PLAN**  
scale 1:50@A3  
**PROPOSED**

drwg No  
**1733/REGS/03**

NP 17 / 34

- CM carbon monoxide detector
- s.a. smoke alarm
- h.d. heat detector
- e.light emergency lighting



**WALL LINING:**  
USE GYPLINER METAL STUD SYSTEM TO LINE EXISTING PLASTERED STONE WALLS  
50MM CELOTEX FR9000 BETWEEN STUDS WITH JOINTS TAPED AS VCL  
12.5MM WALL BOARD ON FACE OF STUDWORK

**CEILING TO OPEN ROOF**  
FIT 65MM P.R. RIGID BOARD CLOSELY BETWEEN BAFFERS  
MAINTAINING A 25MM UNVENTILATED CAVITY BETWEEN THE  
BOTTOM OF THE RAFTER AND FIRE BOARD.  
FIT 12.5MM GYPROC FIRELINE BOARD ACROSS THE BOTTOM OF THE BAFFERS  
FIT 38 X 38MM CROSS BAFFERS ACROSS THE BAFFERS @ 600MM  
CENTRES  
FIT 12.5MM GYPROC FIRELINE BOARD.  
RENOVATED ROOF U = 0.18 W/M2K

**EXISTING FLOORS**  
REMOVE EXISTING BOARDS. CLEAN OUT DEBRIS IN FLOOR VOID.  
NEW FLOOR - GYPER LOB SILENT COMPOSING 18MM GYPROC PLANK ON  
GYFRAME SF FLOOR CHANNEL LOCATED OVER THE EXISTING MINIMUM 195MM  
DEEP AT 450MM / 600MM CENTRES. WALKING SURFACE OF GYPER OVER  
SOFTWOOD T&G FLOORING (21MM MINIMUM). 100MM ISOVER SPACESAVER  
READY-CUT IN THE CAVITY.  
**CEILING BELOW FLOOR:**  
GYFRAME RB1 RESILIENT BASES FIXED AT 450MM CENTRES. CEILING LINING 2 LAYERS  
15MM GYPROC SOUNDBLOCK.

**COMPARTMENT WALLS**  
BETWEEN STAIRCASE ENCLOSURE AND FLATS.  
NON LOAD BEARING:  
TWO LAYERS OF 12.5MM GYPROC SOUNDBLOCK BOARD EACH SIDE OF 75MM X 38MM  
TIMBER STUDS AT 600MM CENTRES WITH GYFRAME RB1 RESILIENT BASES FIXED  
PERPENDICULAR TO BOTH SIDES AT 600MM CENTRES. 50MM ISOVER ACOUSTIC  
PARTITION ROLL (P/R 1209) IN THE CAVITY.

**LOAD BEARING UNDER STAIRCASE TRIMMERS:**  
TWO SEPARATE TIMBER FRAMES SPACED 50MM APART, CONSISTING OF 88MM X 38MM  
TIMBER STUDS AT 600MM CENTRES WITH NOGGINGS. TWO LAYERS OF 15MM  
SOUNDBLOCK BOARD EACH SIDE. 100MM ISOVER SPACESAVER READY-CUT BETWEEN  
THE STUDS ON ONE SIDE.

**COMPARTMENT WALL TO STAIRCASE:**  
TWO STAGES OF TRIMMERS: CONSISTING OF  
88MM X 38MM TIMBER STUDS AT 600MM CENTRES  
WITH NOGGINGS. TWO LAYERS OF 15MM  
SOUNDBLOCK BOARD EACH SIDE. 100MM ISOVER  
SPACESAVER READY-CUT BETWEEN THE STUDS ON  
ONE SIDE. LININGS AS IN TABLE.  
OR USE  
GYPROC QUIET SEPARATING WALL SYSTEM WITH  
METAL STUDS AS MANUFACTURER'S SPEC.

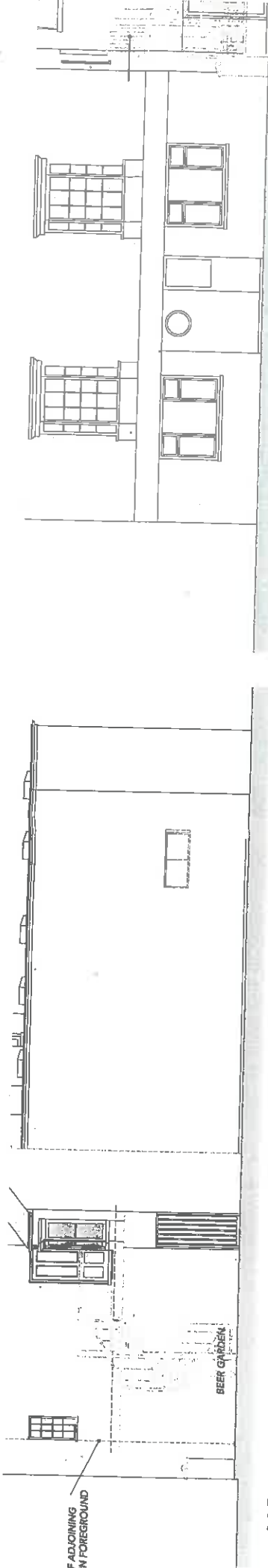
**WALL LINING:**  
USE GYPLINER METAL STUD SYSTEM TO LINE EXISTING PLASTERED STONE WALLS  
50MM CELOTEX FR9000 BETWEEN STUDS WITH JOINTS TAPED AS VCL  
12.5MM WALL BOARD ON FACE OF STUDWORK

**THIRD FLOOR**

REPLACE EXISTING FLOOR JOISTS IN  
THIS AREA. 200X 75MM @ 950 CTRS  
BUILD INTO POCKETS IN EXISTING  
EXTERNAL WALL AND ON TO SOLE  
PLATE. MAKE SURE ALL JOISTS ARE  
STAIRCASE WALLS. PROVIDE HANGERS  
TO PROVIDE RIGID FRANK TO  
TRIMMER-PROVIDE NOGGINGS AT MID  
SPAN

NEW WINDOW  
900X1050MM APPROX  
MIN HEIGHT TO  
SILL 1050MM  
BUILD NEW BLOCKWORK NIB TO ALLOW LINTEL OVER TO BE  
RAISED, AND TO ALLOW INCREASE IN HEIGHT AND  
OPENING WIDTH OF WINDOW.



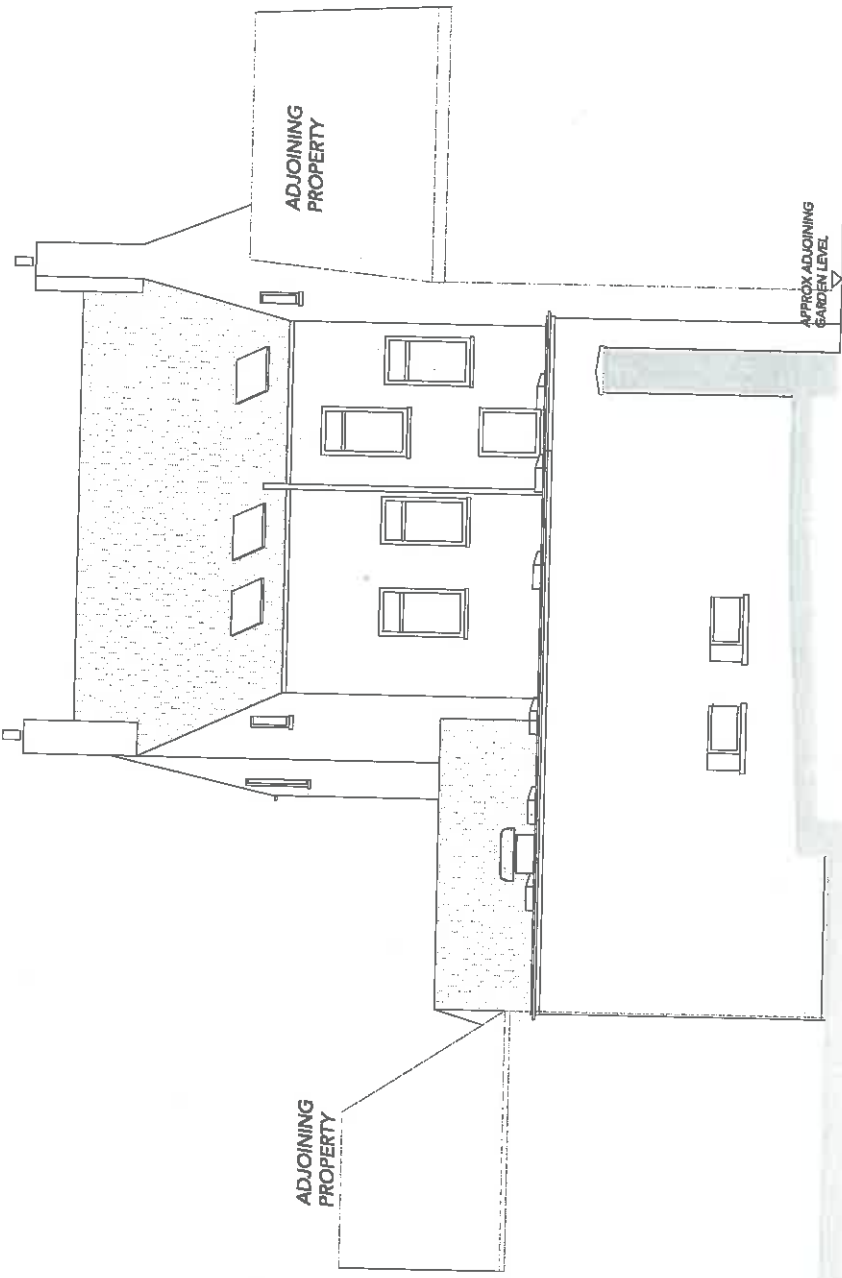


NORTH (SIDE) ELEVATION

(EAST) ELEVATION TO ST JULIAN STREET

NF 17 7 34

Planning Applications Control  
 Maltese Planning Authority  
 18 DEC 2017  
 Approved

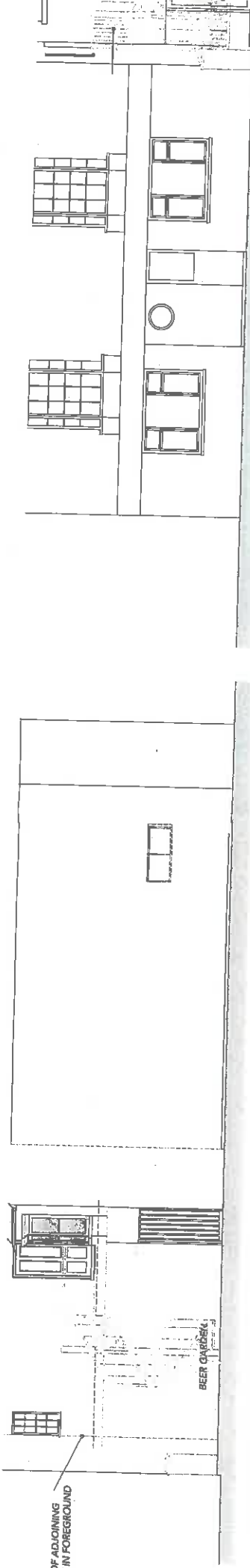


WEST (REAR) ELEVATION



SOL

drwg No <b>1733/REGS/04</b>	date <b>NOV 2017</b>	drawing title <b>EXISTING ELEVATIONS</b>	project <b>HOPE AND ANCHOR FLATS RENOVATION</b>	copyright exists of drawing to be read Architect to be no drawings and Spe Planning Authority
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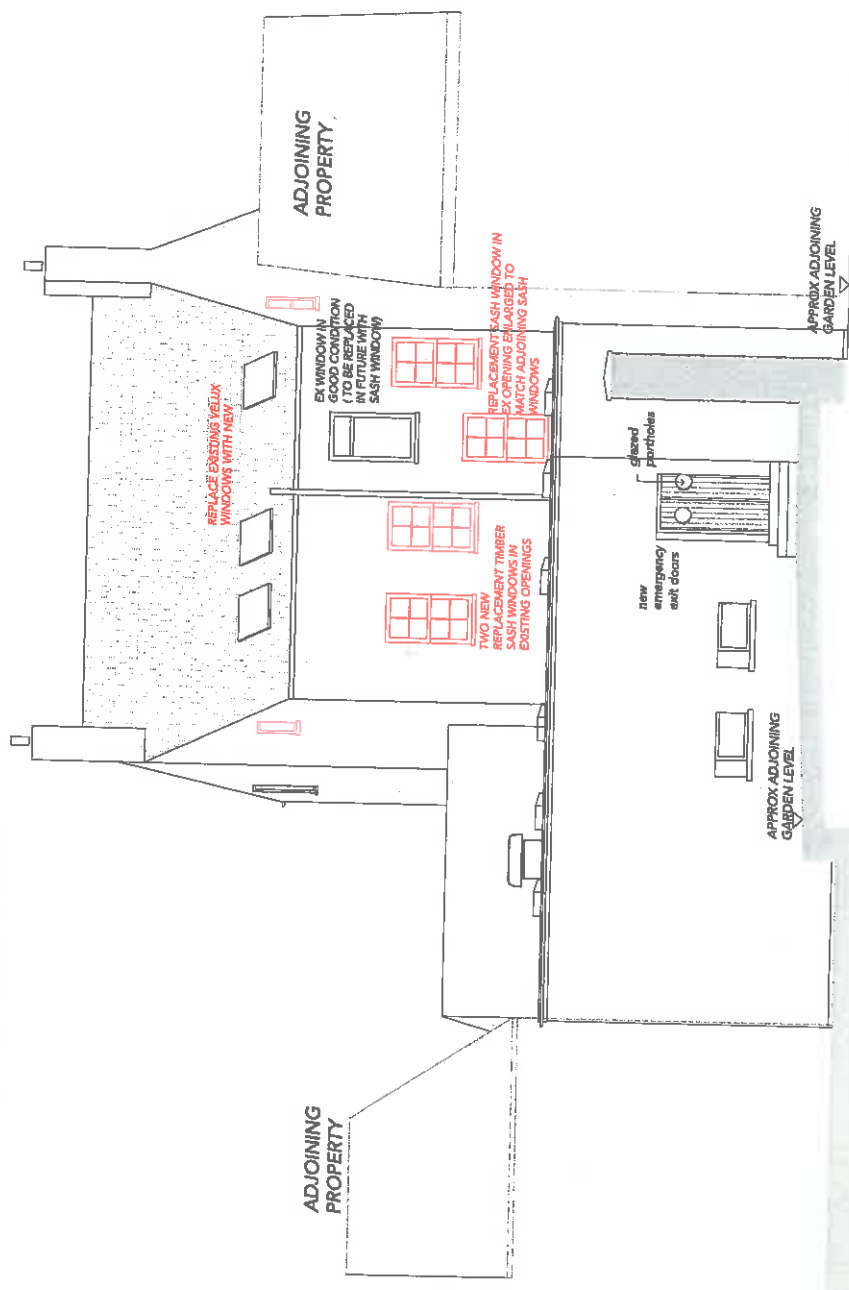


**NORTH (SIDE) ELEVATION**

**(EAST) ELEVATION TO ST JULIAN STREET**

**NP 17 / 34**

Project No: 1733/REGS/05  
 18 DEC 2017  
 Awdurys



Scale: 0 1m 2m 3m 4m 5m

**WEST (REAR) ELEVATION**

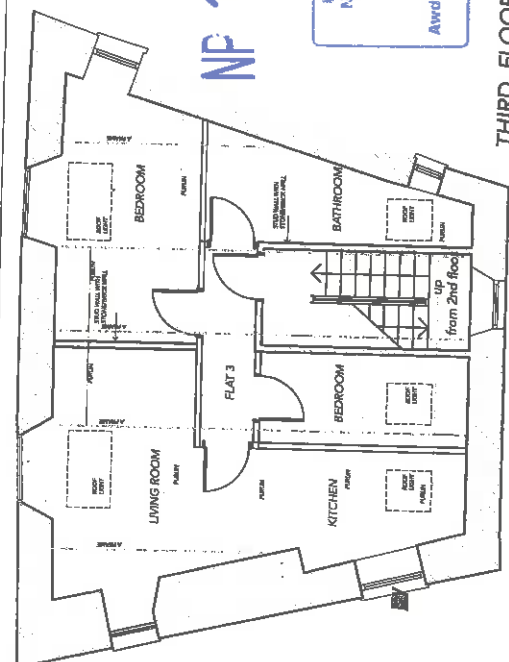
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1733/REGS/05	NOV 2017	PROPOSED ELEVATIONS	HOPE AND ANCHOR FLATS RENOVATION	
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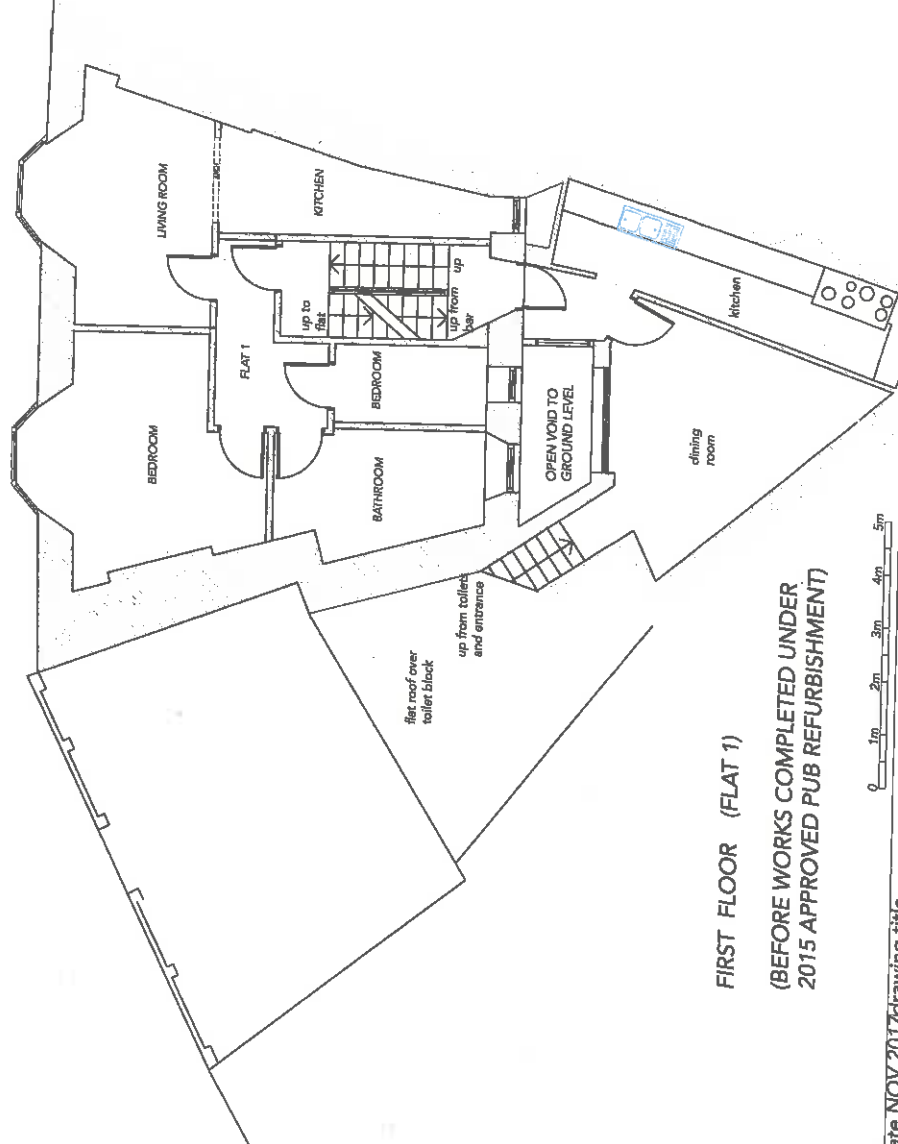
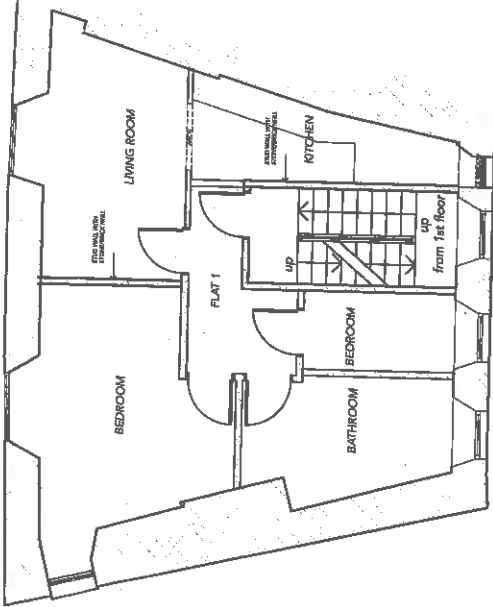
NF 17 7 3 4

Peri-Shire Architects  
18 DEC 2017  
AWD/17/03/04

THIRD FLOOR  
FLAT 3



SECOND FLOOR  
FLAT 2



FIRST FLOOR (FLAT 1)  
(BEFORE WORKS COMPLETED UNDER  
2015 APPROVED PUB REFURBISHMENT)



date NOV 2017 drawing title  
FIRST, SECOND AND THIRD  
FLOOR PLANS EXISTING

scale 1:100@A3

drwg No  
1733/REGS/06

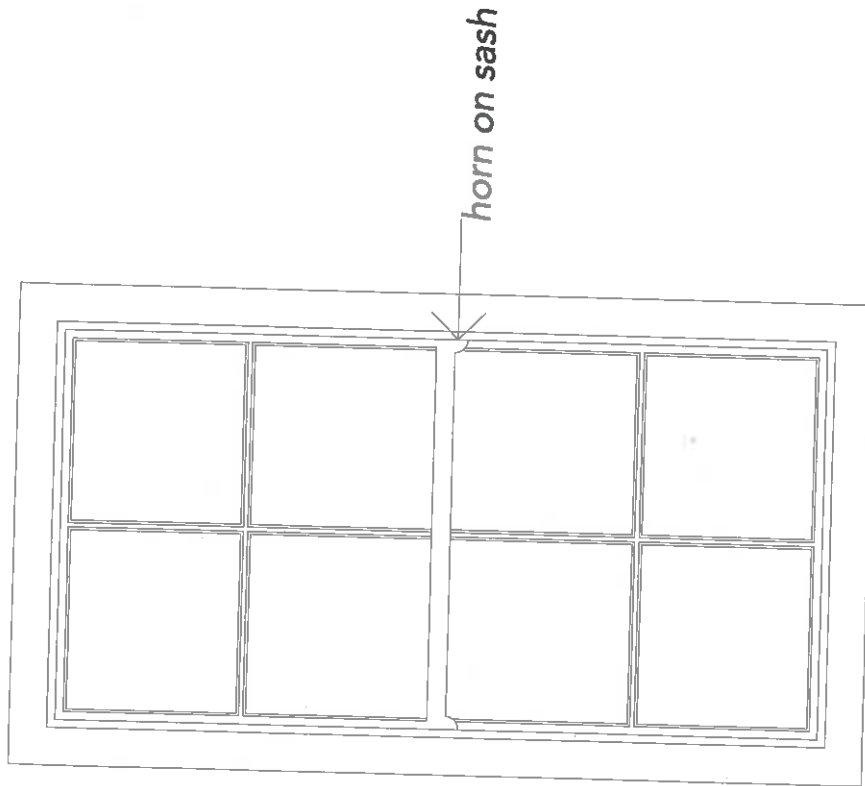
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HOPE AND ANCHOR FLATS RENOVATION

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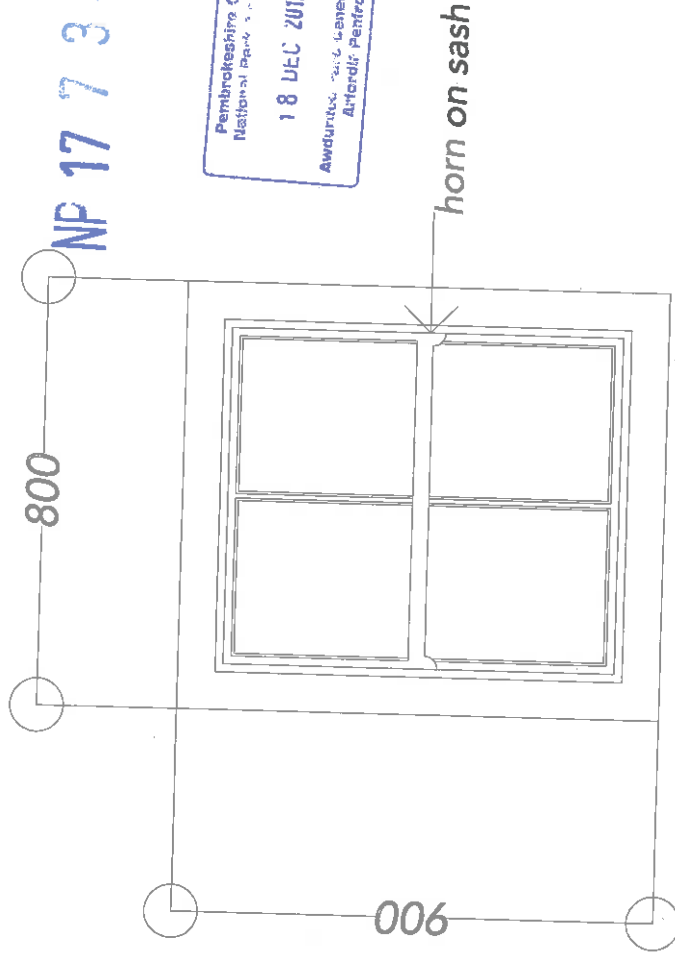


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size of window to fit existing openings approx 1600 x 900

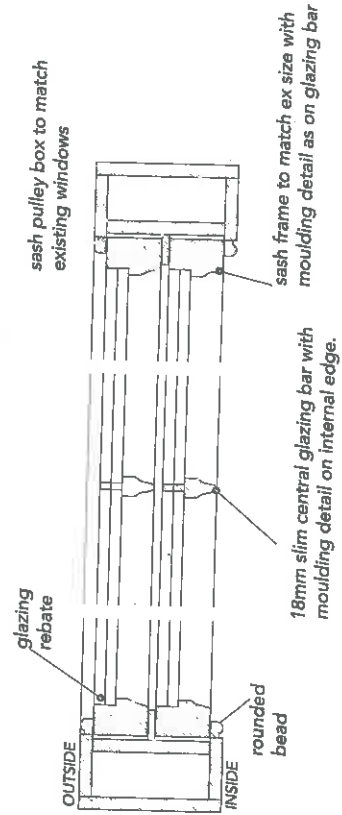


REAR ELEVATION WINDOWS 4 No  
SCALE 1:10



Pembrokeshire Coast  
National Park Authority  
18 DEC 2017  
Awdurdod Penrhodfa Cenedlaethol  
Arfordir Penfro

3RD FLOOR GABLE WINDOWS 2 No



DETAIL SECTION 1:5

drwg No  
1733/REGS/07

date NOV 2017 drawing title  
scale AS SHOWN @ A3  
WINDOW DETAILS

project  
HOPE AND ANCHOR FLATS RENOVATION

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